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HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT (HEPSCD) SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL", 7TH EDITION LAST REVISED JANUARY 2014. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND MAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES:** THE FOLLOWING SEEDING DATES ARE BEST RECOMMENDED TO ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD:
SPRING - 3/1-5/15 AND FALL - 8/15-10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX: (862) 333-4507 OR EMAIL: INFORMATION@HEPSCD.ORG.
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ-DCR OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 1"-2 1/2" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 80 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANTS ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

CONSTRUCTION SEQUENCE

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS:

PHASE	DURATION
1. INSTALL PROTECTIVE FENCING AROUND EXISTING TREES	1 WEEK
2. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE AND INLET FILTERS	2 DAYS
3. DEMOLITION, SITE CLEARING AND ROUGH GRADING	4 WEEKS
4. CONSTRUCT/INSTALL SITE IMPROVEMENTS (DRAINAGE, WALLS, WALKS, ETC.)	6 WEEKS
5. CONSTRUCT/INSTALL PLAYGROUND AREA, BENCHES, ETC.	8 WEEKS
6. STABILIZE LAWN AREAS AND INSTALL PLANTINGS	1 WEEK
7. REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES	2 DAYS
PROJECT DURATION	5 MONTHS

THE ABOVE SCHEDULE IS FOR THE IMPLEMENTATION AND INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY.

SOIL COMPACTION REMEDIATION:
THIS PROJECT DOES NOT REQUIRE SOIL COMPACTION REMEDIATION PER SECTION 19 OF THE N.J. SOIL EROSION & SEDIMENT CONTROL STANDARDS DUE TO THE FOLLOWING:
1. THE PROJECT IS SITUATED IN AN URBAN REDEVELOPMENT AREA, AS THE SITE IS IN THE METROPOLITAN PLANNING AREA (PA-1) AND WAS PREVIOUSLY DEVELOPED.

SPPP REQUIRED INSPECTIONS AND REPORTS

- ROUTINE INSPECTIONS
 - THE PERMITTEE SHALL CONDUCT AND DOCUMENT ROUTINE INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED UNDER PART 1 OF THE CONSTRUCTION ACTIVITY FOR WHICH AN IFRA IS SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH WILL RECEIVE AUTOMATIC RENEWAL OR AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH THESE REQUIREMENTS.
 - HIGH ACID PRODUCING SOILS WITH A pH OF 4 OR LESS, OR CONTAINING IRON SULFIDE, (INCLUDING BORROW FROM CUTS) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT A RATE OF 6 TONS PER ACRE (OR 275 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5 OR MORE EXCEPT AS FOLLOWS:
 - HIGH ACID PRODUCING SOILS WITH A pH OF 4 OR LESS, OR CONTAINING IRON SULFIDE, (INCLUDING BORROW FROM CUTS) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT A RATE OF 6 TONS PER ACRE (OR 275 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5 OR MORE EXCEPT AS FOLLOWS:
 - OTHER RECORD-KEEPING REQUIREMENTS
 - THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:
 - DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE GRADED
 - DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CONTROLS
 - DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA
 - DATES WHEN AN AREA IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY
 - DATES OF RAINFALL AND THE AMOUNT OF RAINFALL
 - DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF ANY SPILLS OF HAZARDOUS MATERIALS
 - RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED
 - A VISIBLE SIGN SHALL BE POSTED ON THE SITE TO IDENTIFY THE LOCATION OF SPPP
 - ANNUAL REPORTS AND CERTIFICATIONS
 - THE PERMITTEE SHALL PREPARE AN ANNUAL REPORT SUMMARIZING EACH INSPECTION PERFORMED UNDER 1.A. ABOVE. THIS REPORT SHALL BE ACCOMPANIED BY AN ANNUAL CERTIFICATION, ON A FORM PROVIDED BY THE NJDEP THAT THE FACILITY IS IN COMPLIANCE WITH ITS SPPP AND THIS PERMIT, EXCEPT THAT IF THERE ARE ANY INCIDENTS OF NONCOMPLIANCE, THOSE INCIDENTS SHALL BE IDENTIFIED IN THE CERTIFICATION. IF THERE ARE INCIDENTS OF NONCOMPLIANCE, THE REPORT SHALL IDENTIFY THE STEPS BEING TAKEN TO REMEDY THE NONCOMPLIANCE AND TO PREVENT SUCH INCIDENTS FROM RECURRING. THE REPORT AND CERTIFICATION SHALL BE SIGNED AND DATED BY THE PERMITTEE IN ACCORDANCE WITH N.J.A.C. 7:14A-4.9 AND SHALL BE MAINTAINED FOR A PERIOD OF AT LEAST FIVE YEARS ALONG WITH COPIES OF ALL INSPECTION REPORTS AND RECORD KEEPING. THIS PERIOD MAY BE EXTENDED BY WRITTEN REQUEST FROM THE DEPARTMENT AT ANY TIME. (SEE N.J.A.C. 7:14A-6.6)
 - REPORTS OF NONCOMPLIANCE
 - ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:140A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY.
 - NOTIFICATION OF COMPLETION
 - THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 2:90-1 FOR COMPLETED CONSTRUCTION ACTIVITIES, EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION.
 - THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF "PROJECT" AT N.J.S.A. 4:24-416, SHALL SEND A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINAL CERTIFICATION OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.
 - THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED.

MITIGATION NOTES FOR ACIDIC SOIL

- LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH ACID PRODUCING SOILS ARE ENCOUNTERED.
- TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.
- STOCKPILES OF HIGH ACID PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.
- TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOIL MATERIAL TO BE EXPOSED MORE THAN 30 DAYS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 8 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID PRODUCING SOIL.
- HIGH ACID PRODUCING SOILS WITH A pH OF 4 OR LESS, OR CONTAINING IRON SULFIDE, (INCLUDING BORROW FROM CUTS) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT A RATE OF 6 TONS PER ACRE (OR 275 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5 OR MORE EXCEPT AS FOLLOWS:
 - AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A pH OF 5 OR MORE.
 - DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM BANKS, DITCHES AND OTHERS TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.
- EQUIPMENT USED FOR MOVEMENT OF HIGH ACID PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.
- NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SILT FENCE, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID PRODUCING SOILS FROM, AROUND OR OFF THE SITE.
- FOLLOWING BURIAL OR REMOVAL OF HIGH ACID PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE, (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1 AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW LATEST EDITION). MONITORING SHOULD CONTINUE FOR APPROXIMATELY 6 TO 12 MONTHS TO ASSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.
- MONITORING OF AREAS WHERE HIGH ACID PRODUCING SOIL HAS BEEN PLACED OR BURIED SHOULD BE PERFORMED FOR AT LEAST 2 YEARS OR LONGER IF PROBLEMS OCCUR, TO ASSURE THERE IS NO MIGRATION OF POTENTIAL ACID LEACHATE.

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

(THIS IS FOR CONSTRUCTION WASTE ONLY)

- THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF THE REQUIREMENT IN 2, 3, AND 4 BELOW. THESE REQUIREMENTS BECOME OPERATIVE ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004. ANY CONSTRUCTION ACTIVITY FOR WHICH AN IFRA IS SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH WILL RECEIVE AUTOMATIC RENEWAL OR AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH THESE REQUIREMENTS.
- MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE: ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA. MANUFACTURERS' RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURERS' RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPP.)
- WASTE HANDLING - THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE HANDLING AT THE CONSTRUCTION SITE OF WASTE INCLUDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE WASTES, INCLUDING LITTER AND HAZARDOUS AND SANITARY WASTES, SHALL CONFORM WITH THE STATE SOIL WASTE MANAGEMENT ACT, N.J.S.A. 15:1E, ET SEQ., AND ITS IMPLEMENTING RULES AT N.J.A.C. 7:26, 7:26A, AND 7:26B; THE NEW JERSEY PESTICIDE CONTROL CODE AT N.J.A.C. 7:30, THE STATE LITTER STATUTE N.J.S.A. 13:1e-99.3), AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R., 1926 (EXCEPT WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE. WASTE SHALL BE COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY.
 - CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:
 - "CONSTRUCTION AND DEMOLITION WASTE" AS DEFINED IN N.J.A.C. 7:26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION, REMODELING, REPAIR, AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THE FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP, TREE STUMPS AND BRUSH; CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY; PLASTER AND WALLBOARD; ROOFING MATERIALS; CORRUGATED CARBOARD AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL, NON-ASBESTOS BUILDING INSULATION, PLASTIC SCRAP, DIRT, CARPETS AND PADDING, GLASS, WINDOWN AND DOOR; AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NOT INCLUDE OTHER SOIL WASTE TYPES."
 - ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26B (THE HAZARDOUS SOLID RULES);
 - DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBLASTING GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G. CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS.
 - OTHER "LITTER" AS DEFINED AT N.J.S.A. 13:1E-21(5) AS FOLLOWS: "ANY USED OR UNCONSUMED SUBSTANCE OR WASTE MATERIAL WHICH HAS BEEN DISCARDED WHETHER MADE OF ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF, INCLUDING, BUT NOT LIMITED TO, ANY BOTTLE, JAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, JAR OR CAN, ANY UNLIT CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL, OR ANY GARBAGE, TRASH, REFUSE, DEBRIS, RUBBISH, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF CONSTRUCTION OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLING, FARMING OR MANUFACTURING."
 - SANITARY SEWAGE AND SEPTAGE
 - CONTAMINATED SOILS ENCOUNTERED OR DISCOVERED DURING EARTH-MOVING ACTIVITIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS SUBSTANCE
 - CONCRETE TRUCK WASHOUT - CONCRETE TRUCK WASHOUT ONSITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUND WATER. HARDENED CONCRETE FROM CONCRETE TRUCK WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
 - SANITARY SEWAGE/SEPTAGE DISPOSAL - DISCHARGES OF RAW SANITARY SEWAGE OR SEPTAGE ONSITE ARE STRICTLY PROHIBITED. ADEQUATE FACILITIES WITH PROPER DISPOSAL SHALL BE PROVIDED AND MAINTAINED ONSITE OR ADJACENT TO THE SITE FOR ALL WORKERS AND OTHER SANITARY NEEDS
 - SPILLS: DISCHARGE OF HAZARDOUS SUBSTANCES.
 - SPILL KITS SHALL BE AVAILABLE ONSITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2 ABOVE AND USED OR APPLIED ONSITE. ALL SPILLS OF SUCH MATERIAL SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. LITTED UP MATERIALS SHALL BE PROPERLY DISPOSED OF.
 - DISCHARGES OF HAZARDOUS SUBSTANCES (AS DEFINED IN N.J.A.C. 7:1E-1.16) IN CONSTRUCTION SITE WASTES ARE SUBJECT TO THE PROVISIONS OF THE SPILL COMPENSATION AND CONTROL ACT, NJAC 9:03-11.11 ET SEQ., AND OF DEPARTMENT RULES FOR DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT NJAC 7:1E. NO DISCHARGE OF HAZARDOUS SUBSTANCES RESULTING FROM AN ONSITE SPILL SHALL BE DEEMED TO BE PURSUANT TO AND IN COMPLIANCE WITH (THIS PERMIT) WITHIN THE MEANS OF THE SPILL COMPENSATION AND CONTROL ACT AT NJAC 9:03-11.23(1C).
 - RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 110, 117 AND 302 THAT OCCUR WITHIN A 24-HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800-424-8802)

STABILIZATION WITH MULCH ONLY

DEFINITION
STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS.

PURPOSE
TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

CONDITIONS WHERE PRACTICE APPLIES
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION-RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM.

METHODS AND MATERIALS

- SITE PREPARATION
 - GRADE, AS NEEDED AND FEASIBLE, TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR APPLYING AND ANCHORING MULCH. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING, PG. 19.
 - EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS. SEE STANDARDS 11 THROUGH 12.
- PROTECTIVE MATERIALS
 - UNROTTED SMALL-GRAIN STRAW, HAY OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS OR NETTING TIEDOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
 - ASPHALT EMULSION OR CUTBACK ASPHALT IS RECOMMENDED AT THE RATE OF 600 TO 1200 GALLONS PER ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHEN TRAVEL BY PEOPLE, ANIMALS OR MACHINES IS NOT A PROBLEM.
 - SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED - UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,000 POUNDS PER ACRE MAY BE APPLIED OVER FRESH BEECH OR HYDRALCHING.
 - MULCH NETTING, SUCH AS PAPER, LUTE, EXCELSIOR, COTTON OR PLASTIC, MAY BE USED.
 - WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED.
 - GRAVEL, CRUSHED STONE OR SLAG AT THE RATE OF 0.5 CUBIC YARDS PER 1000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
- MULCH ANCHORING
 - MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES:
 - PEG AND TWINE - DRIVE TO 18 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRSS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE POUND TURNS.
 - MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.
 - MULCH ANCHORING TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. TOOL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES ON SLOPING LAND. THE OPERATION SHOULD BE DONE ON THE CONTOUR.
 - LIQUID MULCH-BINDERS
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING:
 - EMULSIFIED ASPHALT - (SS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1 AND CRS-2). APPLY 0.04 GAL/SQ YD. OR 194 GAL/ACRE ON FLAT SLOPES AND SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET OR MORE HIGH USE 0.075 GAL/SQ YD. OR 363 GAL/ACRE.
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING POLYMER (POLYMER BASED) HYDROGEL/MULCH MATERIALS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - SYNTHETIC OR ORGANIC BINDERS - BINDERS SUCH AS CURASOL, DCA-70, PETRO-SEED AND TERRA-TACK MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

SOIL TEXTURE	TONS/ACRE	LBS./1000 SQ. FT.
CLAY, CLAY LOAM, & HIGHLY ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

STANDARD FOR STORM SEWER INLET PROTECTION

DEFINITION
A TEMPORARY BARRIER AND SETTLING FACILITY INSTALLED AT A

PURPOSE
THE PURPOSE OF STORM SEWER INLET PROTECTION IS TO INTERCEPT AND RETAIN SEDIMENT, PREVENTING THE ENTRANCE OF SEDIMENT INTO THE STORM SEWER SYSTEM.

CONDITIONS WHERE PRACTICE APPLIES
CONTRIBUTING DRAINAGE AREA IS 3 ACRES OR LESS.
A STORM SEWER OR THE OUTLET CHANNEL OF A STORM SEWER NEEDS PROTECTION FROM SEDIMENT.
TRAFFIC WILL NOT DESTROY OR CAUSE CONSTANT MAINTENANCE OF THE STORM SEWER INLET PROTECTION.
A TRAFFIC HAZARD WILL NOT BE CREATED.
A FLOODING PROBLEM WILL NOT BE CREATED.

WATER QUALITY ENHANCEMENT
THE PRIMARY BENEFIT TO WATER QUALITY IS REMOVAL OF SEDIMENT FROM STORMWATER RUNOFF PRIOR TO ENTERING THE STORM SEWER SYSTEM. AS AN ADDED BENEFIT, OTHER FLOATABLE DEBRIS, SUCH AS VEGETATIVE MATTER AND LITTER MAY ALSO BE FILTERED OUT OF THE RUNOFF.

DESIGN CRITERIA
THE FOLLOWING APPLIES TO ALL METHODS OF STORM SEWER

MUST SLOW THE STORM WATER, PROVIDE THE COARSE SEDIMENT PARTICLES A CHANCE TO SETTLE, AND PROVIDE AN AREA TO RETAIN THE PARTICLES THAT HAVE SETTLED.
IN ALL CASES, THE INLET PROTECTION SHOULD NOT COMPLETELY THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE

OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL

INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD

SEEDING SPECIFICATIONS

TEMPORARY SEEDING
TEMPORARY VEGETATIVE COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUND PER 1,000 SQ. FT. (40 lbs./Ac.) IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.
LIMESTONE (PULVERIZED DOLOMITIC RYEGRASS TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) SHALL BE APPLIED AT THE RATE OF 45 lbs./1,000 SQ. FT. (1 TON/ac.) IN ACCORDANCE WITH TABLE 7-1, PAGE 7-2.
FERTILIZER (10-20-10 OR EQUIVALENT) AT THE RATE OF 11 lbs./1,000 SQ. FT. (500 lbs./Ac.) OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN, IN ACCORDANCE WITH PARAGRAPH 2A, PAGE 7-1.

- MULCHING IS REQUIRED ON ALL SEEDING AND SHALL BE ACCOMPLISHED AS FOLLOWS:
- MULCH MATERIALS SHOULD BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT A RATE OF 1.12 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FOOT. MULCH BLOWERS SHOULD NOT GRIND OR CHOP THE MATERIAL.
 - SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85 PERCENT OF THE SOIL SURFACE WILL BE COVERED FOR UNIFORM DISTRIBUTION OF HAND SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE TO 70 TO 90 POUNDS WITHIN EACH SECTION.
 - MULCH ANCHORING SHALL BE ACCOMPLISHED USING EITHER PEG AND TWINE, MULCH NETTING, MULCH ANCHORING COOLER TOOL, OR LIQUID MULCH BINDERS. PER THE ACCOMPANYING "STABILIZATION WITH MULCH ONLY" SPECIFICATION.
 - * OPTIMUM SEEDING DATES: 3/1 - 5/15 AND 8/15 - 10/1

PERMANENT SEEDING

- TOPSOIL TO BE PLACED TO A DEPTH OF 4 INCHES ON EXPOSED SOILS UPON COMPLETION OF FINAL GRADING.
- SEED IS TO BE UNIFORMLY APPLIED TO THE NORMAL DEPTH OF 1/4 INCH TO 1/2 INCH (EXCEPT HYDRO SEEDING, ZONE 6). SEED MIXTURE 17, AS SHOWN ON PAGE 4-12 IN THE SOIL EROSION STANDARDS. THE SEEDING RATE SHALL BE:

SEED MIXTURE	LBS PER ACRE
HARD FESCUE	120
CREeping FESCUE	30
PERENNIAL RYEGRASS	10

 - * OPTIMAL SEEDING DATES: 3/1 - 4/30 AND 8/15 - 10/15
- MULCHING WILL BE ACCOMPLISHED PER THE BELOW TEMPORARY SEEDING SPECIFICATION.
 - *MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR SOIL CAN BE IRRIGATED.

SOIL PREPARATION

SUITABLE EQUIPMENT WILL BE USED TO PREPARE A REASONABLE, UNIFORM FINE SEED BED TO A MINIMUM DEPTH OF 4 INCHES. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIME SHALL BE PULVERIZED DOLOMITIC LIMESTONE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES. THE FOLLOWING TABLE IS A GENERAL GUIDELINE FOR LIMESTONE APPLICATION RATES:

SOIL TEXTURE	TONS/ACRE	LBS./1000 SQ. FT.
CLAY, CLAY LOAM, & HIGHLY ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.

DUST CONTROL NOTE

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE.

WATER DILUTION	TYPE OF NOZZLE
7:1	COARSE SPRAY
12.5:1	FINE SPRAY
4:1	FINE SPRAY

Apply according to manufacturer's instructions. May also be used as an additive to prevent erosion by flocculate and precipitate suspended solids. See Sediment Basin standards, p. 25-1

ADDITIONAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.

THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES. ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT MINIMUM, BY THE END OF EACH WORK DAY.

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNERS.

STEEP SLOPES TO RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL (SEE ANCHORING NOTES & NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.)

CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND APPLICATION RATES AT THE REQUEST OF THE HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT.

A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION

MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.

ALL SOIL EROSION AND SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.

THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION

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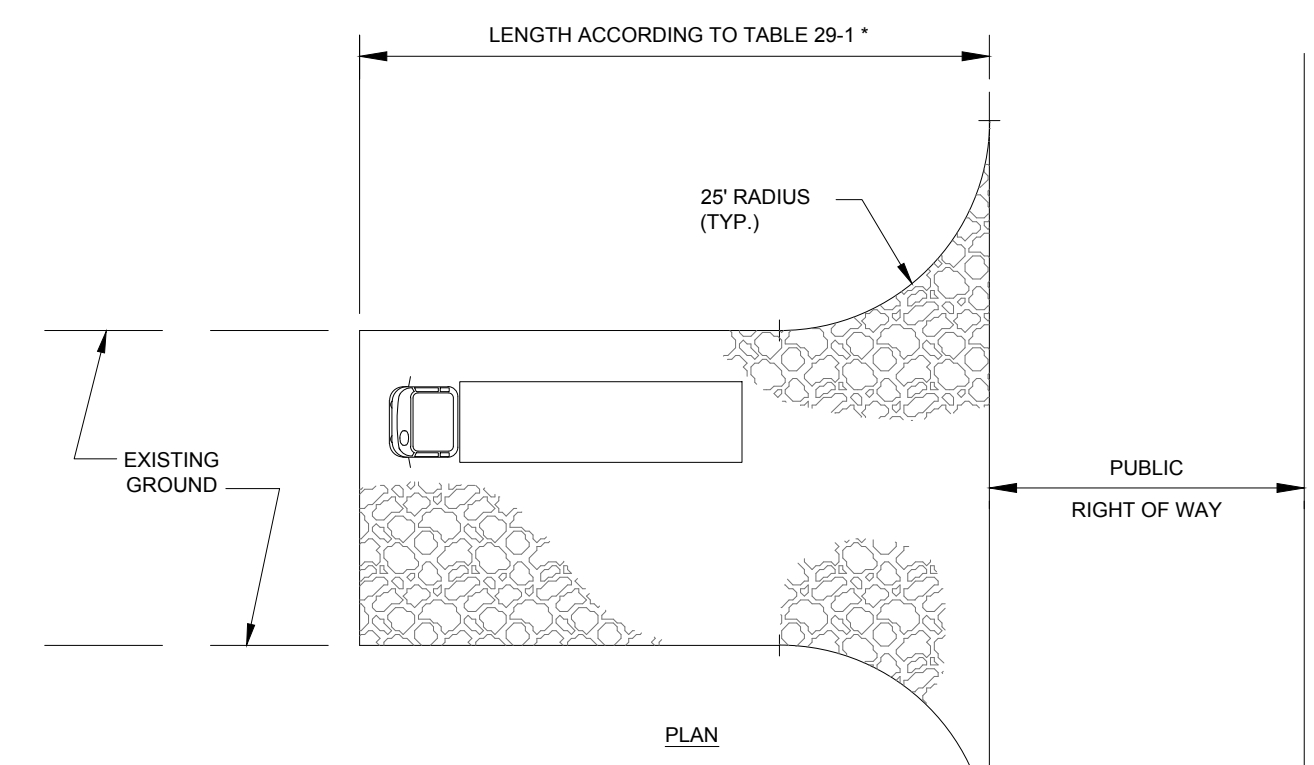
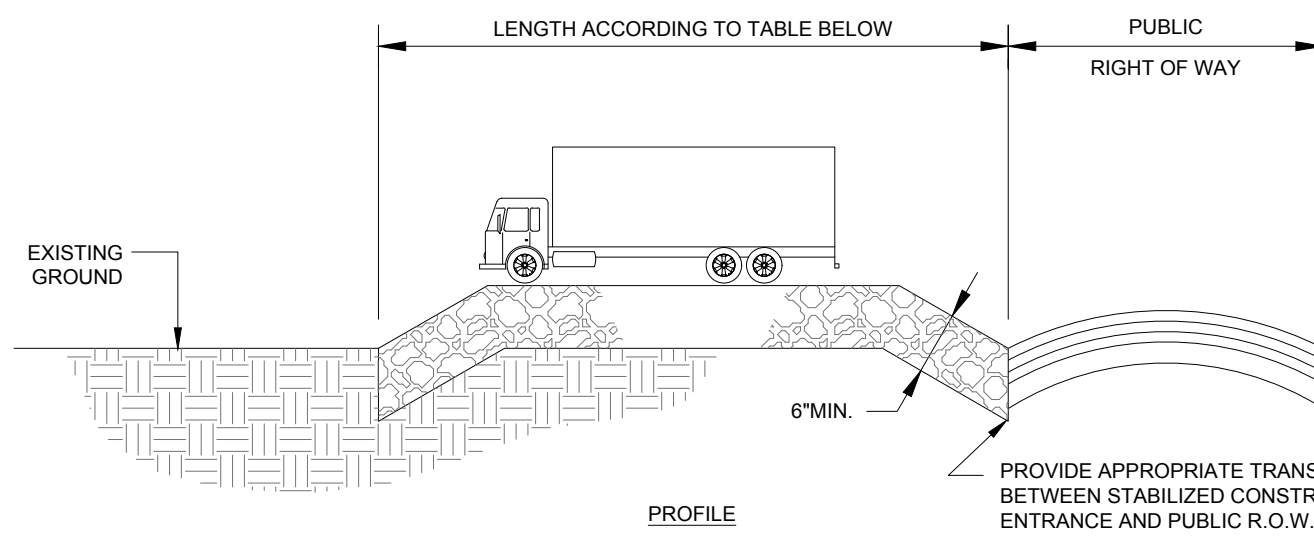
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NOTE:
INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCES ONLY (TYP.).

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

DESIGN CRITERIA

STONE SIZE - USE ASTM C-33, SIZE No. 2 (2 1/2 TO 1 1/2") OR 3 (2 TO 1"). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE.

THICKNESS - NOT LESS THAN SIX (6) INCHES WITH FILTER FABRIC.

WIDTH - NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.

LENGTH - 100 FEET MIN. THESE LENGTHS MAY BE INCREASED WHERE FIELD CONDITIONS DICTATED. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD. WHERE THE SLOPE OF THE ACCESS ROAD EXCEEDS 5%, A STABILIZED BASE COURSE OF FINE AGGREGATE BITUMINOUS CONCRETE (FABC) SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE FABRIC AND USE OF A DENSE GRADE AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR OTHER GOVERNING AUTHORITY. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ACCESS.

TABLE OF LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

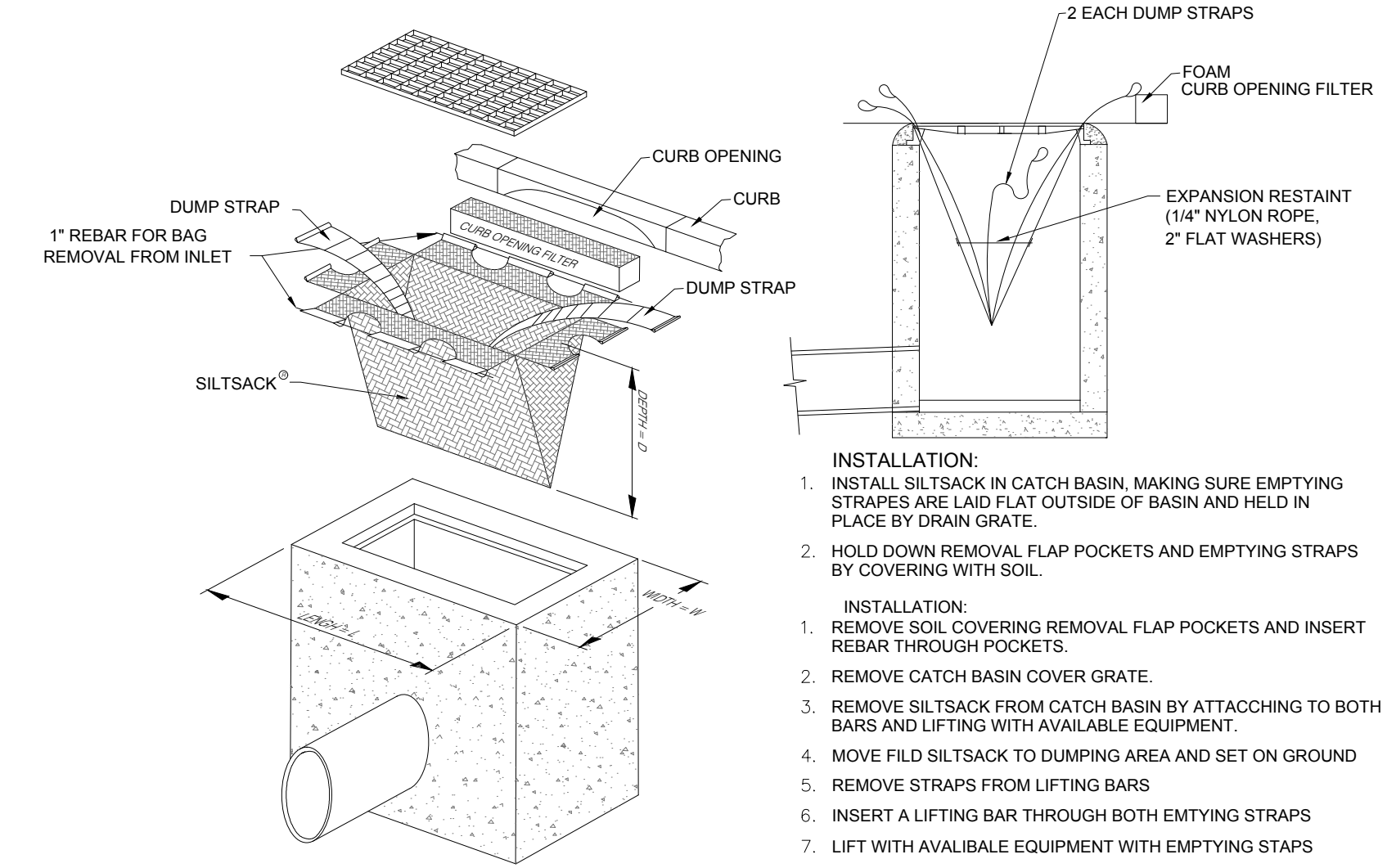
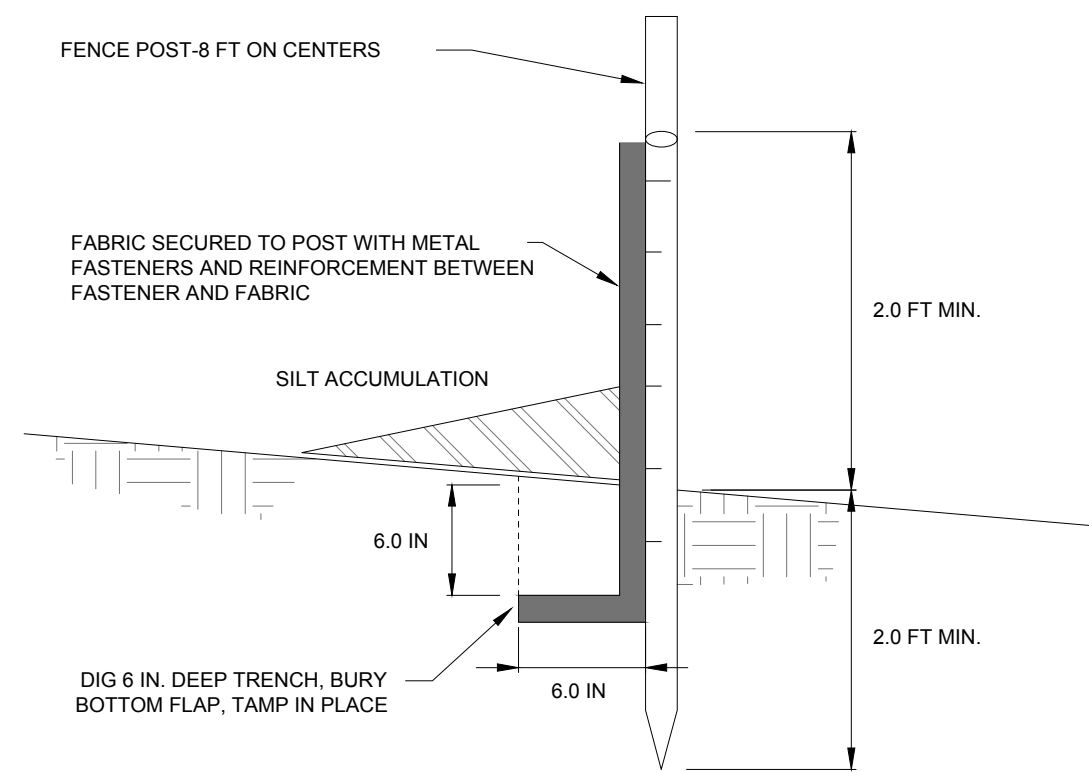
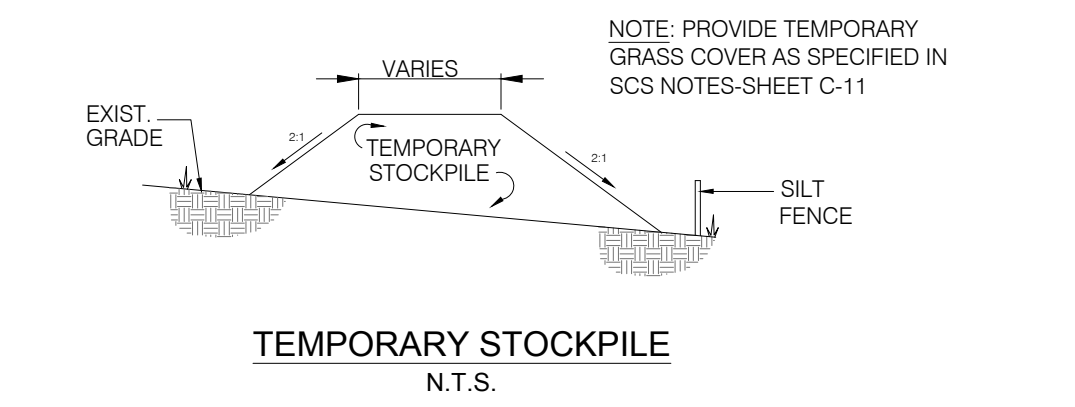
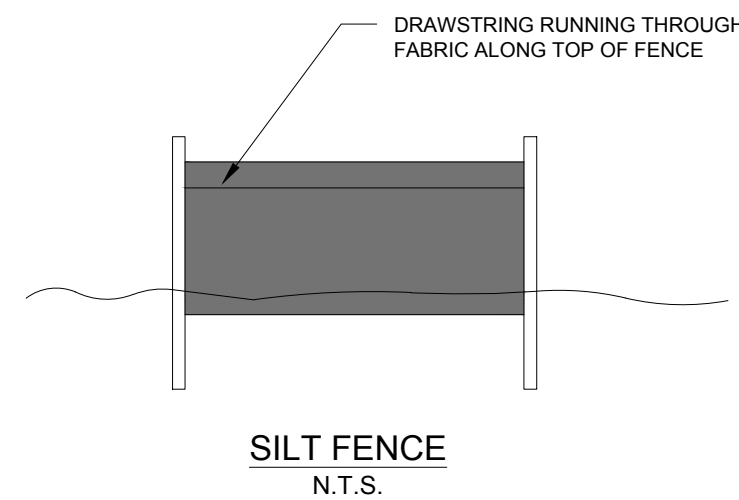
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 ft.	100ft.
2 TO 5%	100ft.	200ft.
> 5%	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE (NOTE 1)	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

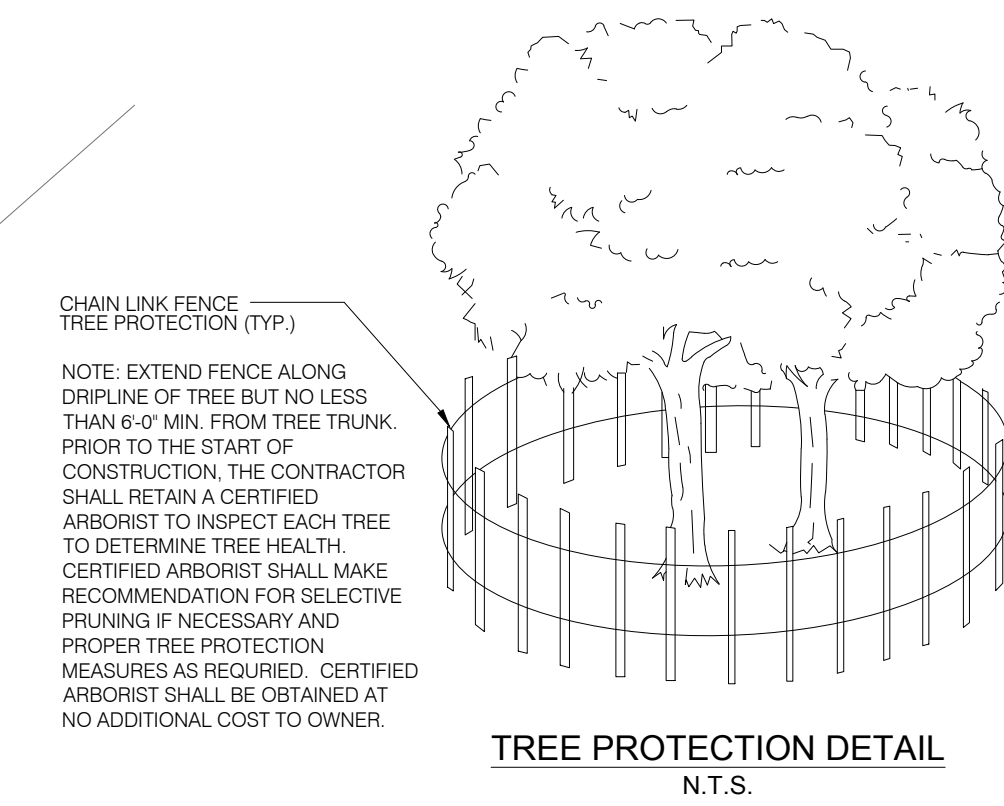
MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.

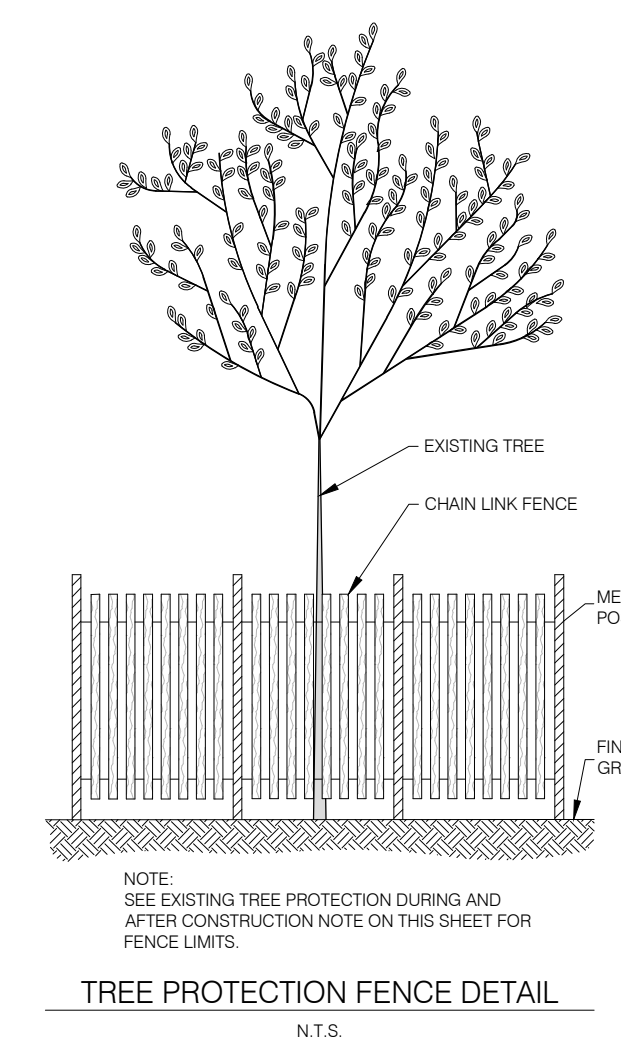
WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.



INLET SEDIMENT CONTROL DEVICE
N.T.S.



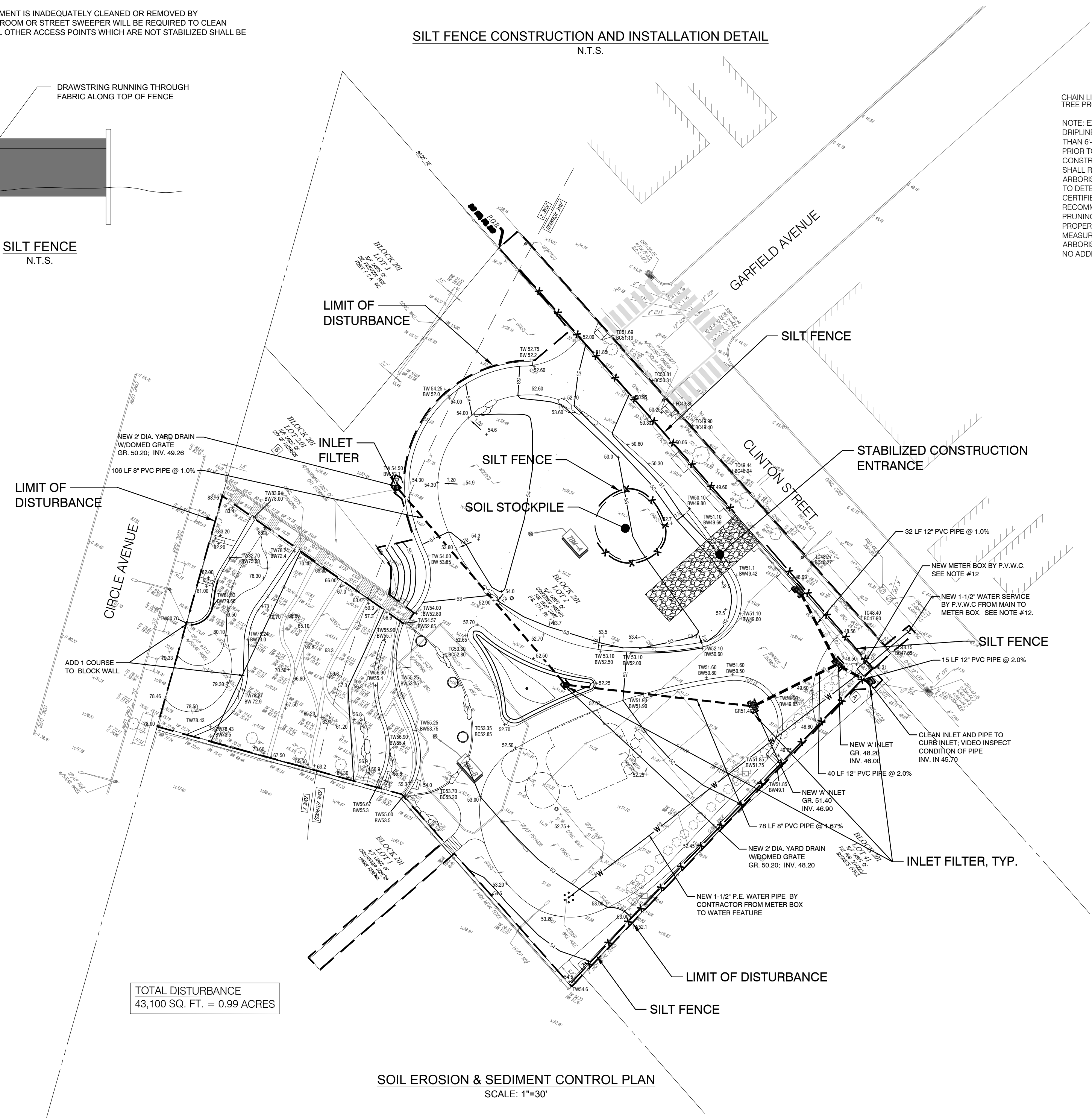
TREE PROTECTION DETAIL
N.T.S.



TREE PROTECTION FENCE DETAIL
N.T.S.

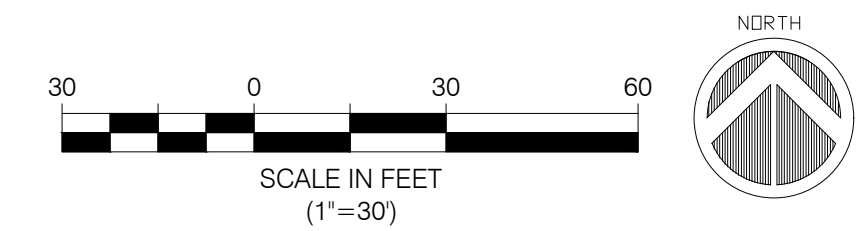
EXISTING TREE PROTECTION DURING AND AFTER CONSTRUCTION

- THE CONTRACTOR IS RESPONSIBLE TO HIRE A CERTIFIED ARBORIST (CA) CERTIFIED TREE EXPERT (CTE) OR CERTIFIED FORESTER (CF) TO OVERSEE ALL CONSTRUCTION WITHIN THE DRIP LINE OF ANY TREES OVER 12" CALIPER THAT ARE INDICATED TO REQUIRE "TREE PROTECTION" ON THE CONSTRUCTION PLAN. THE CTE SHALL REPORT TO THE COUNTY REPRESENTATIVE (CTE, CF, CA) AND SHALL OVERSEE ALL WORK TO ENSURE IT IS IN COMPLIANCE WITH THIS SECTION OF THE SPECIFICATIONS AND WITH INDUSTRY STANDARD BEST PRACTICES FOR TREE PROTECTION.
- ALL TREES TO REMAIN SHALL BE PROTECTED IN ACCORDANCE WITH ANSI A300.
- THE CTE SHALL ESTABLISH A PRE- AND POST- CONSTRUCTION FERTILIZATION AND TREE CARE PLAN AND SCHEDULE THAT WILL ENSURE THE LONG TERM HEALTH OF THE TREES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, FERTILIZATION, DEEP ROOT FEEDING AND FERTILIZING, TREE AND ROOT PRUNING, STABILIZATION TESTING ETC. THESE REQUIREMENTS SHALL BE SUBMITTED TO THE COUNTY FOR APPROVAL PRIOR TO CONSTRUCTION.
- A PROTECTIVE BARRIER OF CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIP LINE OF PROTECTED TREES. THE FENCING CAN BE MOVED WITHIN THE DRIP LINE IF AUTHORIZED BY THE ARBORIST BUT NO CLOSER THAN 2' FROM THE TRUNK OF ANY TREE. THIS ENCLOSED AREA (CONFIRMED BY THE ARBORIST) IS THE TREE PROTECTION ZONE (TPZ).
- DEMOLITION, EXCAVATION AND CONSTRUCTION WITHIN THE TPZ SHALL BE BY HAND OR USING COMPRESSED AIR. THIS INCLUDES ALL SIDEWALK, ASPHALT AND CURB REMOVAL. MACHINE DEMOLITION, EXCAVATION AND DIGGING IS NOT PERMITTED WITHIN THE TPZ. EXCEPTIONS TO THIS MAY BE SUBMITTED BY THE CONTRACTOR'S CTE TO THE COUNTY FOR REVIEW. IF THE CONTRACTOR MUST DIG OR EXCAVATE AROUND MATURE TREES, AIR TOOLS SHALL BE USED TO EXPOSE TREE ROOTS SO THE ROOTS CAN BE SEEN AND WORKED AROUND SAFELY TO AVOID DAMAGE.
- WHEN ROOTS OVER 1" IN DIAMETER ARE ENCOUNTERED, EITHER INSIDE OR OUTSIDE OF THE TPZ, THE ARBORIST SHALL BE NOTIFIED AND THE ROOTS SHALL BE HAND TRIMMED, MAKING CLEAR, CLEAN CUTS THROUGH THE ROOTS. TRENCHES OR CUTS THAT EXPOSE ROOTS SHALL BE FILLED WITHIN 24 HOURS, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREES SHALL BE KEPT SHADED WITH FOUR LAYERS OF DAMPENED, UNTREATED BURLAP, WETTED AS FREQUENTLY AS NECESSARY TO KEEP THE BURLAP WET. ANY EXPOSED FEEDER ROOTS AND PERENNIAL ROOTS SHOULD BE COVERED IN SOIL AND WET WRAPS TO KEEP MYCORRHIZAE COLONIES ALIVE. ANY WORK WITHIN THE TPZ THAT REQUIRES MACHINERY SHALL BE LIMITED TO A MINI EXCAVATOR OR SMALL TRACTOR MOUNTED BACKHOE AS APPROVED BY THE CTE AND CITY.
- TRUCKS AND HEAVY MACHINERY SHALL NOT BE PERMITTED TO PARK OR TRAVEL WITHIN THE TPZ.



TOTAL DISTURBANCE
43,100 SQ. FT. = 0.99 ACRES

SOIL EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=30'



Mark Chisvette 8/24/22
Mark Chisvette
Professional Engineer
NJ LIC# 28164

Issue:

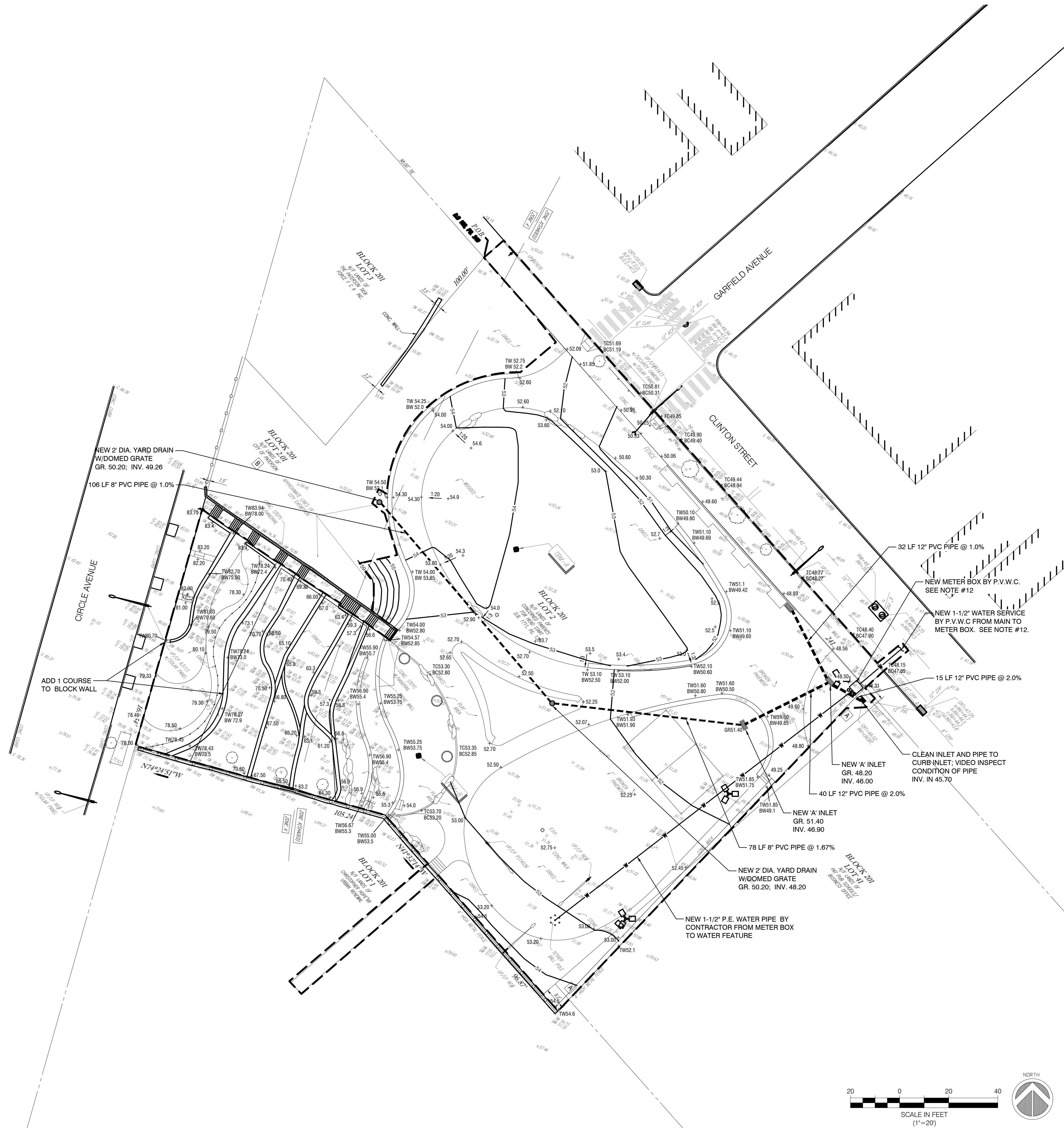
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Sheet Title:

SOIL EROSION & SEDIMENT CONTROL PLAN	
Drawn By: VH	L-004
Checked By: MC	
Date: 08/24/2022	
Scale: 1"=30'-0"	
Project Number: 02-2019-127	Sheet: 5 of 10

GRADING & UTILITY NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HERE IS BASED ON A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 63-95 CLINTON STREET, LOT 2, BLOCK 201, CITY OF PATERSON, PASSIAC COUNTY, STATE OF NEW JERSEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 1/08/2020.
- LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES SHOWN ON THE PLANS ARE APPROXIMATE. THE ACCURACY AND COMPLETENESS OF LOCATIONS OF UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK IS NOT GUARANTEED BY CHISVETTE ENGINEERING. THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL LOCATIONS AND ELEVATIONS OF THESE UTILITIES AT THE ONSET OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OR ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT.
- THE CONTRACTOR SHALL CALL NEW JERSEY ONE CALL AT 811 OR 800-272-1000 AT LEAST THREE FULL BUSINESS DAYS (NOT COUNTING WEEKENDS OR HOLIDAYS) PRIOR BEGINNING WORK.
- ALL ELEVATIONS SHOWN ARE BASED ON AN THE NAVD88 DATUM.
- ALL WALKWAYS TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% UNLESS OTHERWISE NOTED.
- STORM AND SANITARY SEWER PIPE SHALL BE MATERIAL INDICATED:
 - RCP PIPE SHALL BE CLASS III, WALL "B" PER ASTM C76 OR C507, UNLESS OTHERWISE INDICATED.
 - HDPE PIPE SHALL BE SMOOTH INTERIOR, DOUBLE WALL PIPE MEETING ASTM F2306 AND AASHTO M294, TYPE "S". PIPE JOINTS SHALL BE SILT-TIGHT IN ACCORDANCE WITH ASTM D3212.
 - PVC PIPE SHALL BE GASKETED PIPE, SDR35 MEETING ASTM D3034 OR PS46 MEETING ASTM F679, UNLESS OTHERWISE NOTED.
 - DUCTILE IRON FOR STORM AND SANITARY USE SHALL MEET THE REQUIREMENTS OF ASTM A716 OR ASTM A746.
- WATER SERVICE PIPES FROM THE MAIN SHALL BE ROLLED SOFT CLASS K COPPER PIPE APPROVED FOR 350 PSI. SERVICE PIPE SHALL BE LAID IN ACCORDANCE WITH PASSAIC VALLEY WATER COMMISSION SPECIFICATIONS.
- WATER DISTRIBUTION PIPE WITHIN THE SITE SHALL BE POLYETHYLENE PIPE CONFORMING TO THE PHCC NATIONAL STANDARD PLUMBING CODE FOR WATER SERVICE PIPE.
- COST OF THE WATER METER PIT AND SERVICE LINE FROM THE MAIN TO THE METER PIT WILL BE PAID BY THE OWNER DIRECTLY TO THE PASSAIC VALLEY WATER COMMISSION.



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Mark Chisvette
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Issue No.	Date	Remarks

Sheet Title:
**DRAFT 8-04-22
GRADING, DRAINAGE &
UTILITY PLAN**

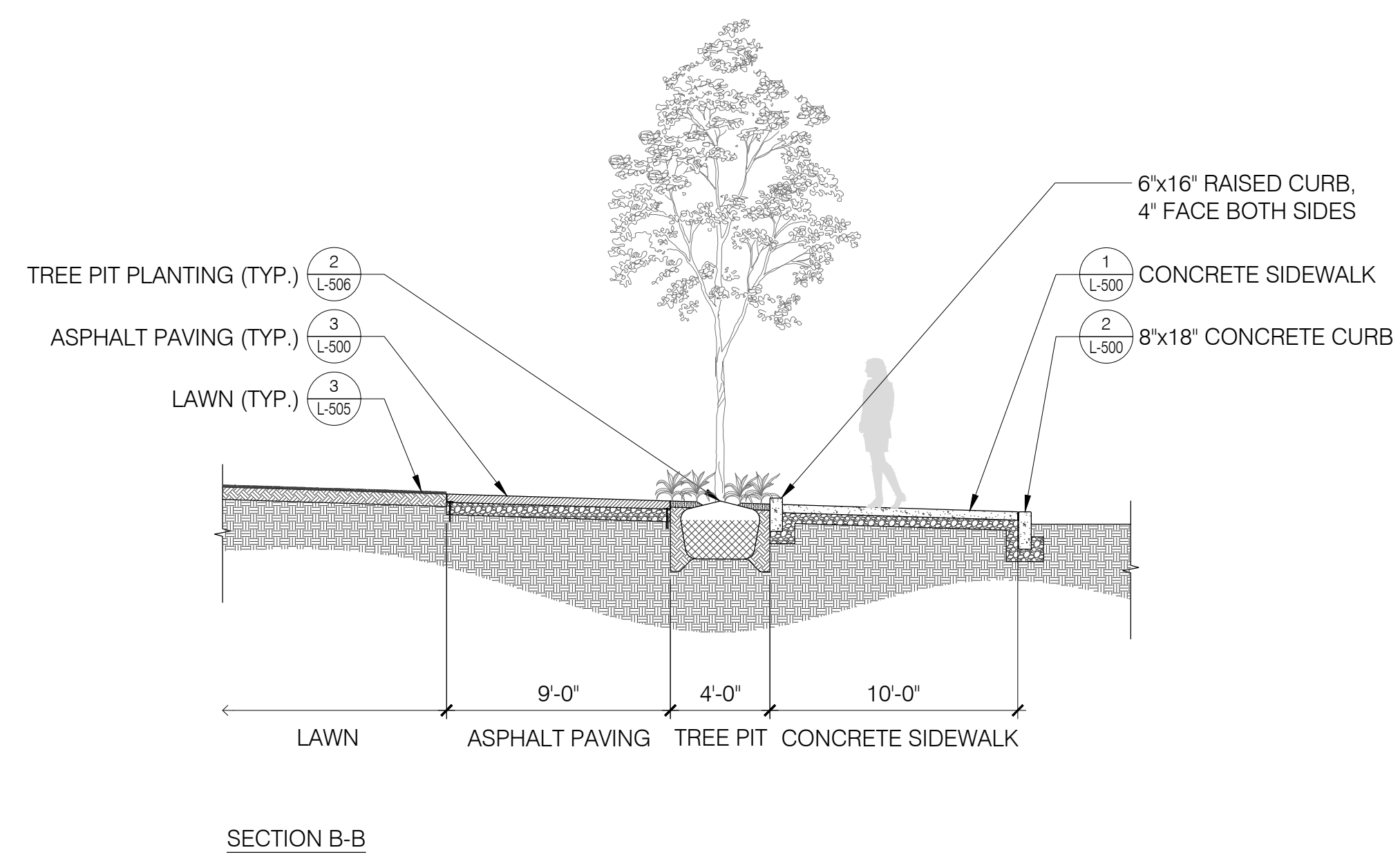
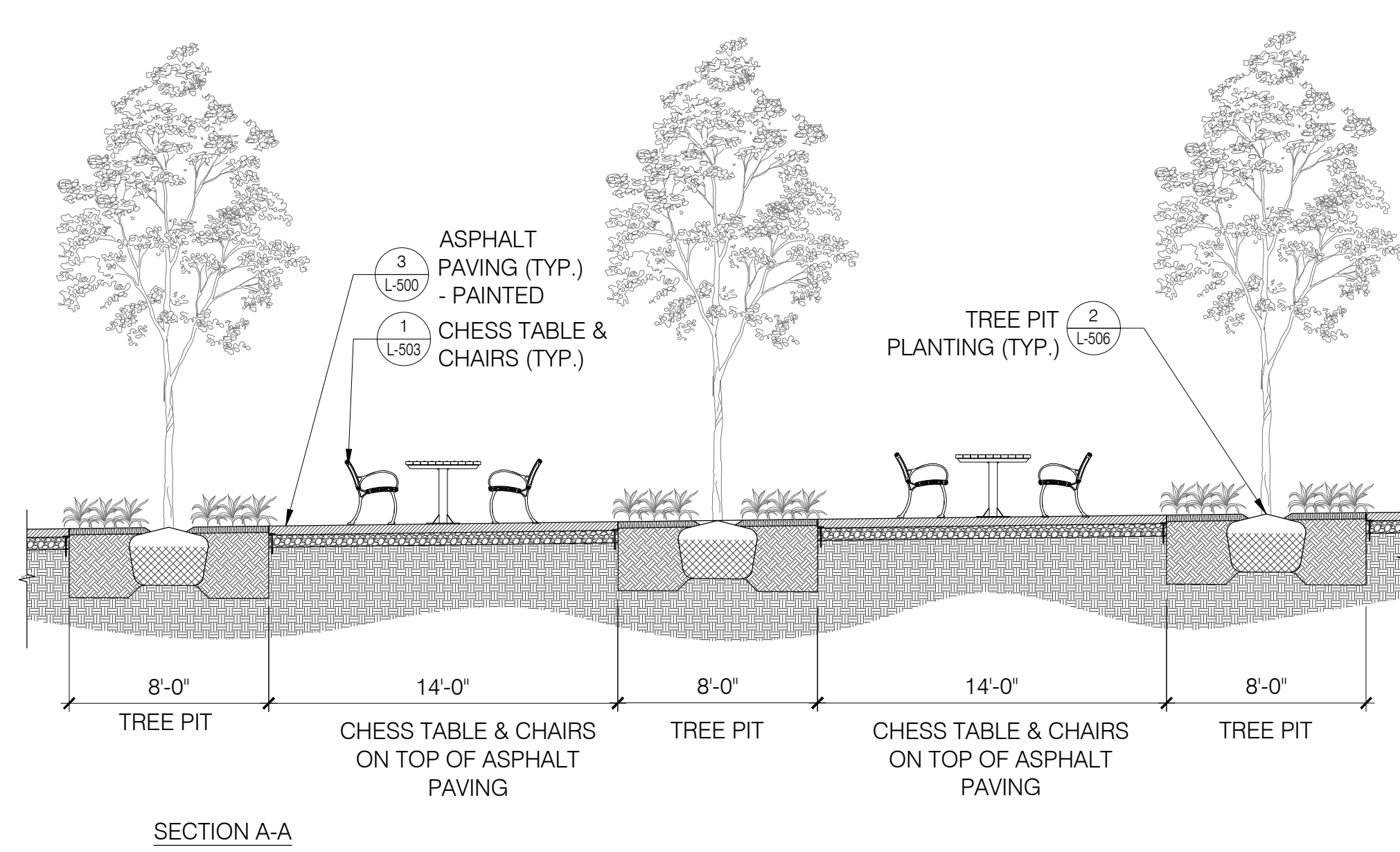
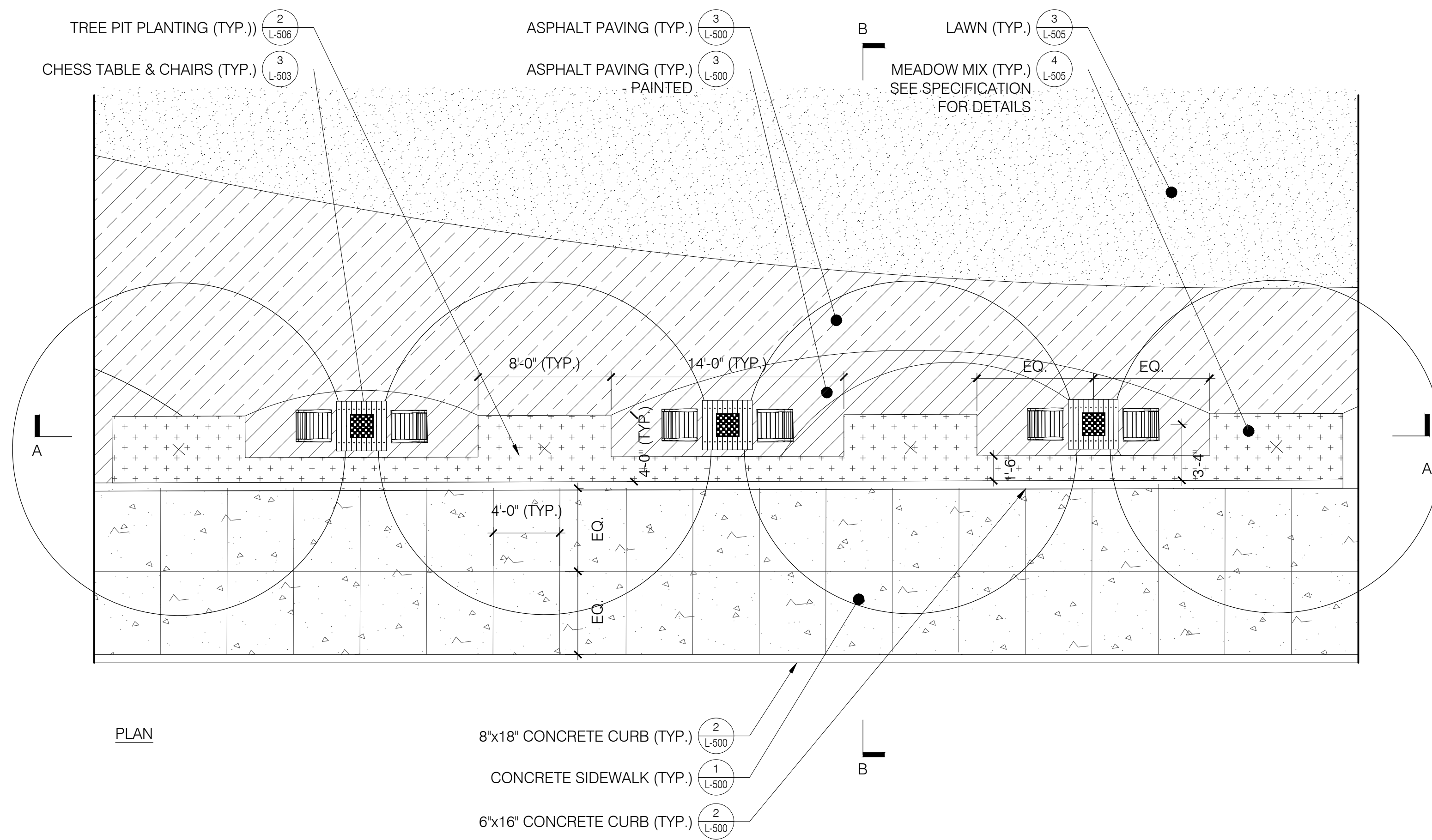
Drawn By: VH	L-104
Checked By: MC	
Date: 08/24/2022	
Scale: 1"=20'-0"	
Project Number: 02-2019-127	Sheet: 9 of 10

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David I. Lustberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

Issue:
No. Date Remarks

Sheet Title: SECTIONS AND ENLARGEMENTS	
Drawn By: VH	L-401
Checked By: JR	
Date: 08/24/2022	
Scale: AS NOTED	
Project Number: 02-2019-127.1	Sheet: 11 of 21

VOLUMES:01-PROJECTS:02-2019-127.1 CLINTON STREET PARK/6.0 02-2019-127.1 CADD/6.7 SHEETS/CD/L-401-402_SECTIONS & ENLARGEMENTS.DWG
DATE PRINTED: 8/25/2022 10:40 AM

1 CLINTON STREET ENLARGEMENT
SCALE: 3/16" = 1'-0"

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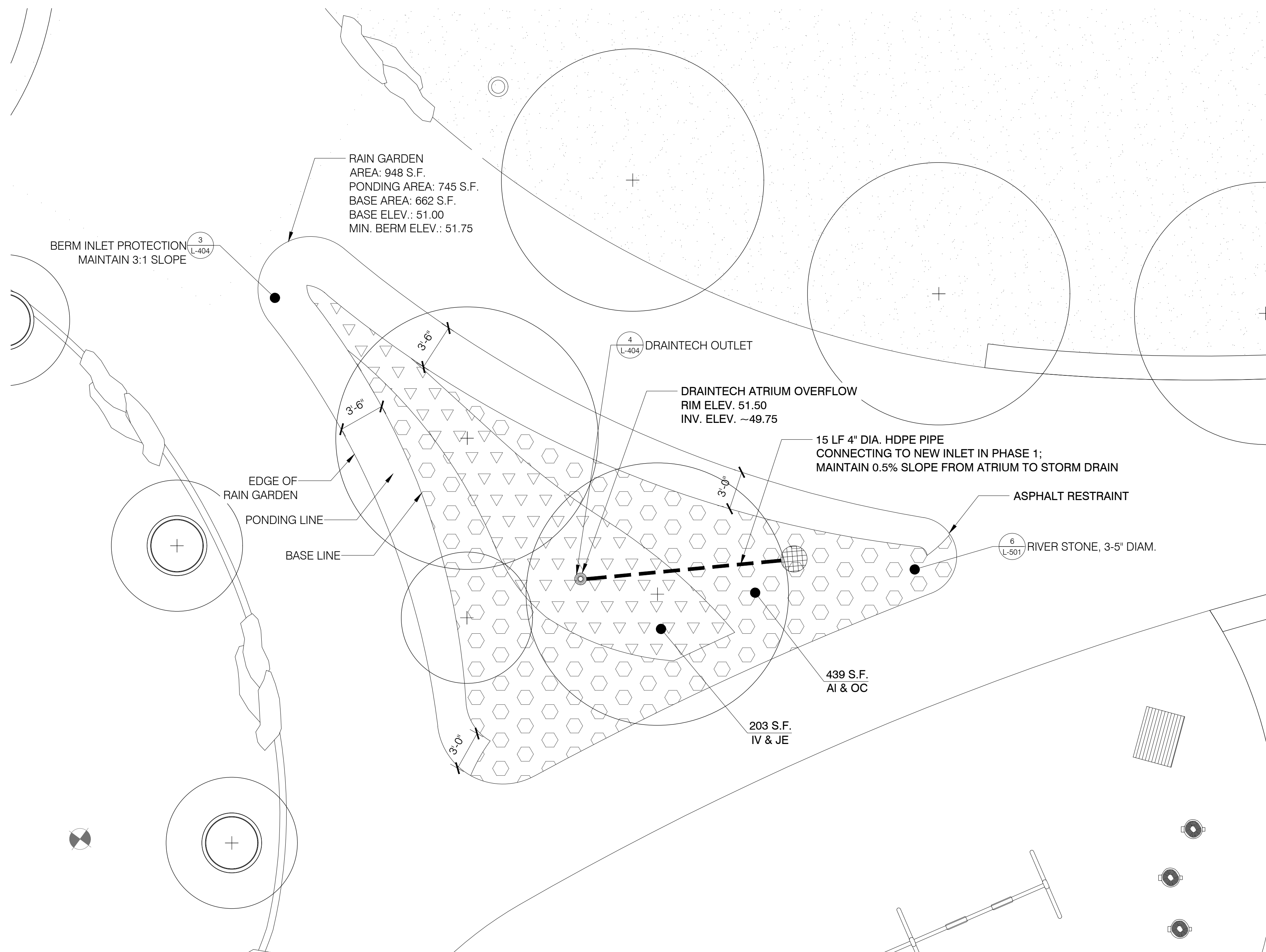
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WATER RESOURCE PROGRAM
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PLANTING SCHEDULE					
		PLANT SPECIES		TOTAL QUANTITY	SIZE
TYPE	KEY	BOTANICAL NAME	COMMON NAME		
PERENNIALS	IV	<i>Iris versicolor</i>	BLUE FLAG IRIS	50	2" PLUG
	JE	<i>Juncus effusus</i>	SOFT RUSH	40	2" PLUG
	AI	<i>Asclepius incarnata</i>	SWAMP MILKWEED	37	1 QUART
	SN	<i>Symphyotrichum novae-angliae</i>	NEW ENGLAND ASTER	36	1 QUART
	OC	<i>Osmundastrum cinnamomeum</i>	CINNAMON FERN	36	1 QUART

QUANTITY/COST ESTIMATES		
Rain Garden		Quantity
Excavation (CY)		42
Bioretention Soil	Concrete Sand (CY)	15
	Compost (CY)	6
Mulch (CY)		11
3-5" River Stone (Tons)		13.0
Landscape Fabric (SF)		306
Plants	Perennials	200
	Shrubs	0
	Trees	2
HDPE Pipe and Fittings (Feet)		15
Concrete Curb Cut		0
Total Cost		



AVOLUMES/01-PROJECTS/02-2019-127.1 CLINTON STREET PARK/6.0 02-2019-127.1 CADD/6.7 SHEETS/CD/L-403-404_RAIN GARDEN ENLARGEMENTS.DWG
DATE PRINTED: 8/24/2022 4:04 PM

1 RAIN GARDEN ENLARGEMENT
SCALE: 1" = 5'-0"

Christopher C. Obropta
Christopher C. Obropta, P.E.
Professional Engineer
NJ LIC# 37532

Issue:		
No.	Date	Remarks

Sheet Title: RAIN GARDEN ENLARGEMENT	
Drawn By: EKP	L-403
Checked By: CCO	
Date: 08/24/2022	
Scale: AS NOTED	
Project Number: 02-2019-127.1	
Sheet: 13 of 21	

Client:
Paterson Habitat For Humanity
146 North 1st Street
Paterson, NJ 07522
Phone: (973) 595-6868
Email:

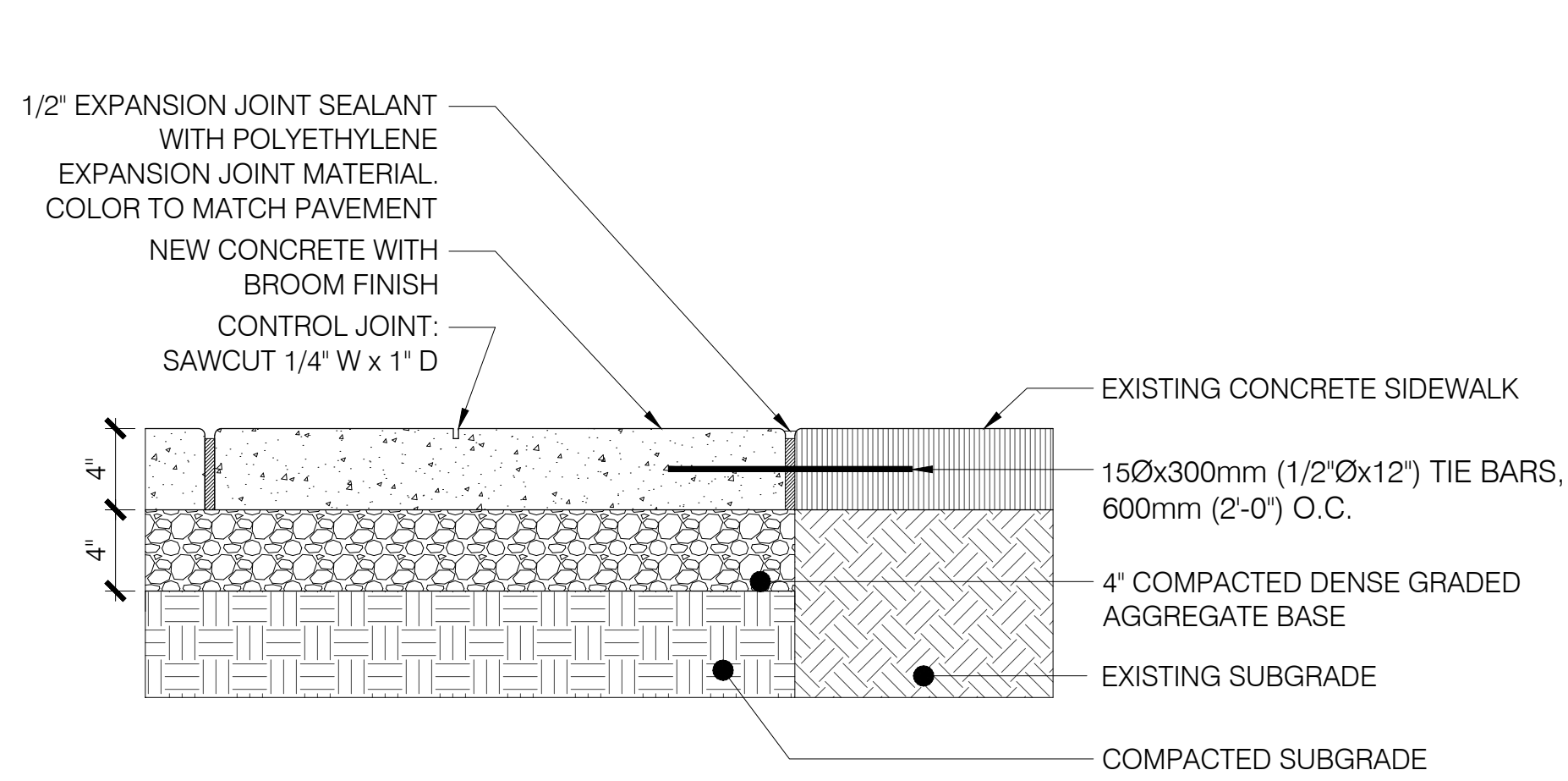
Landscape Architect

Arterial

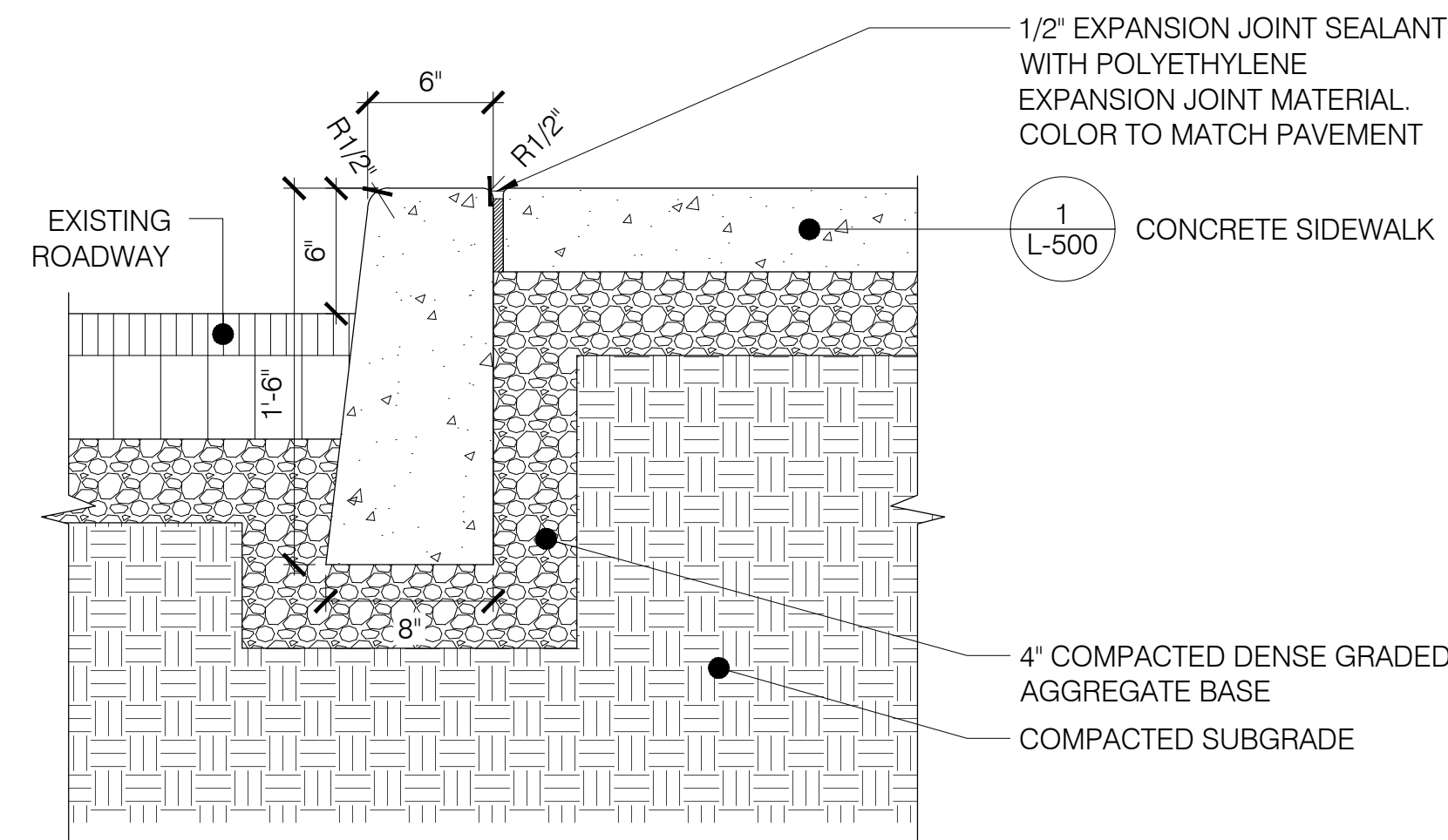
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info@arterialstreets.com

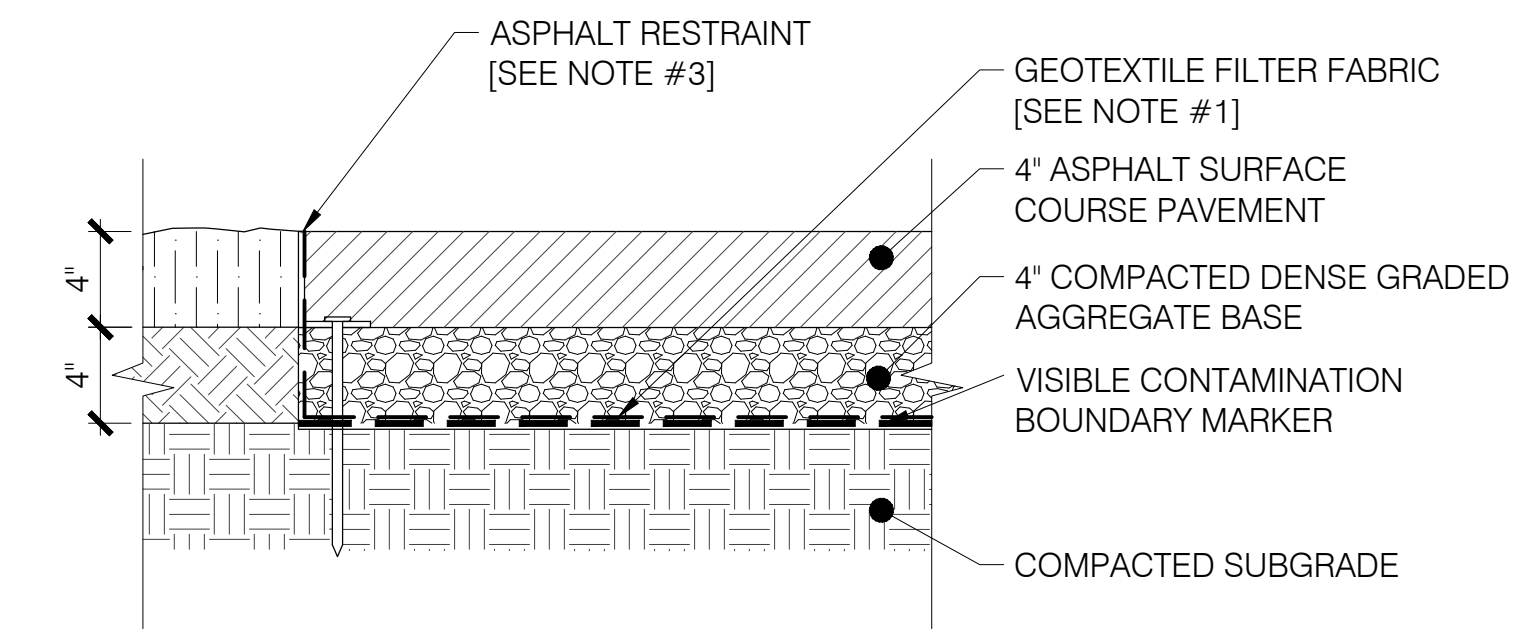
Civil Engineer:
CHISVETTE ENGINEERING, LLC
320 Lenox Avenue
Pompton Lakes, NJ, 07442
Phone: (973) 897-7968
Fax: (973) 970-2010



- NOTES:
- ALL CONCRETE & CONSTRUCTION METHODS SHALL CONFORM TO 2019 NJDOT STANDARD SPEC. FOR ROAD & BRIDGE CONSTRUCTION.
 - MEET FINISHED GRADE AND ADJACENT SURFACES FLUSH.
 - CONCRETE TO BE CLASS B
 - SUBBASE & FORM WORK SHALL BE FIRM & APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO POURING.
 - PROVIDE 1/2" EXPANSION JOINT FILLER, BACKER ROD & SEALANT AT ALL CURBS, BLDGS, WALLS, OR EVERY 20' O.C. MAX.

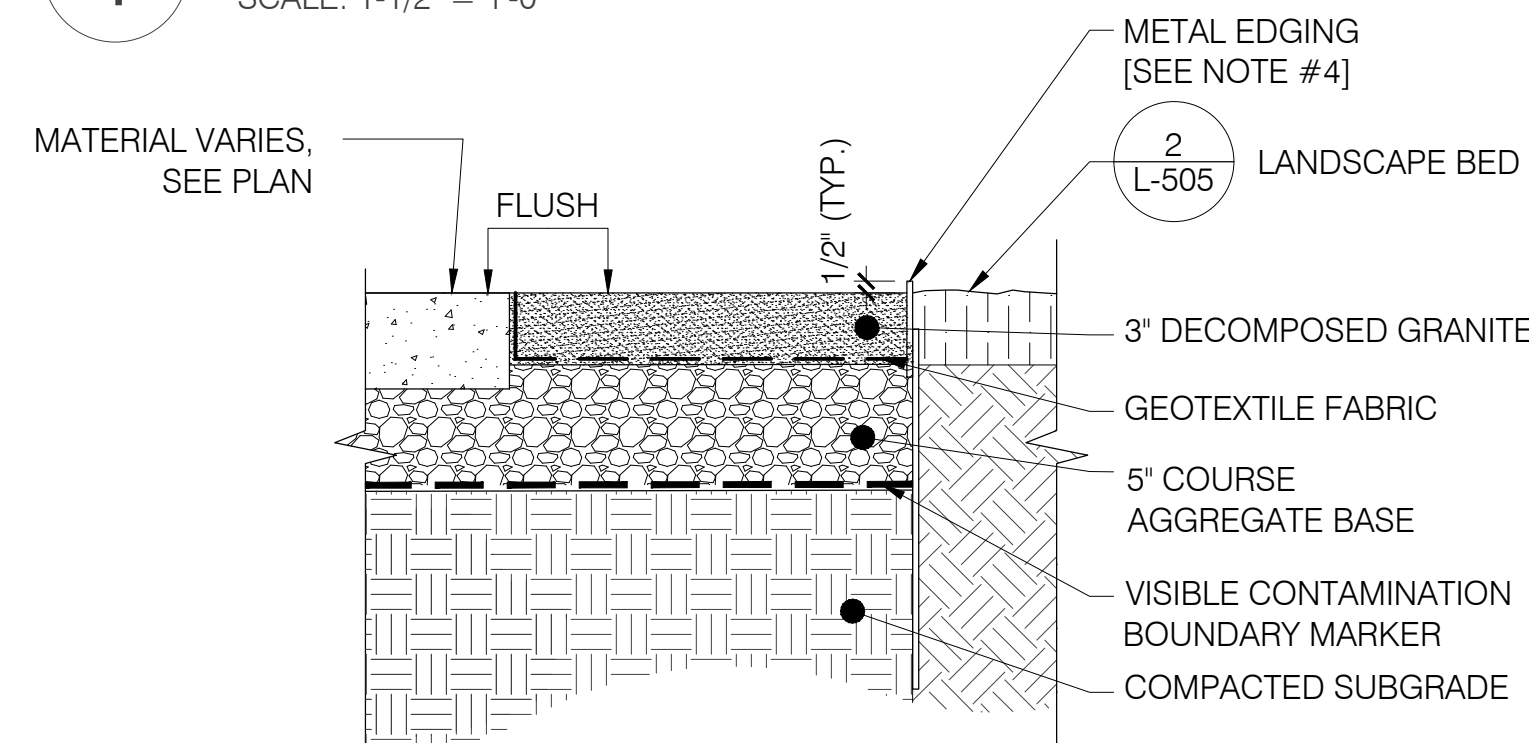


- NOTES:
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 - MEET FINISHED GRADE AND ADJACENT SURFACES FLUSH.
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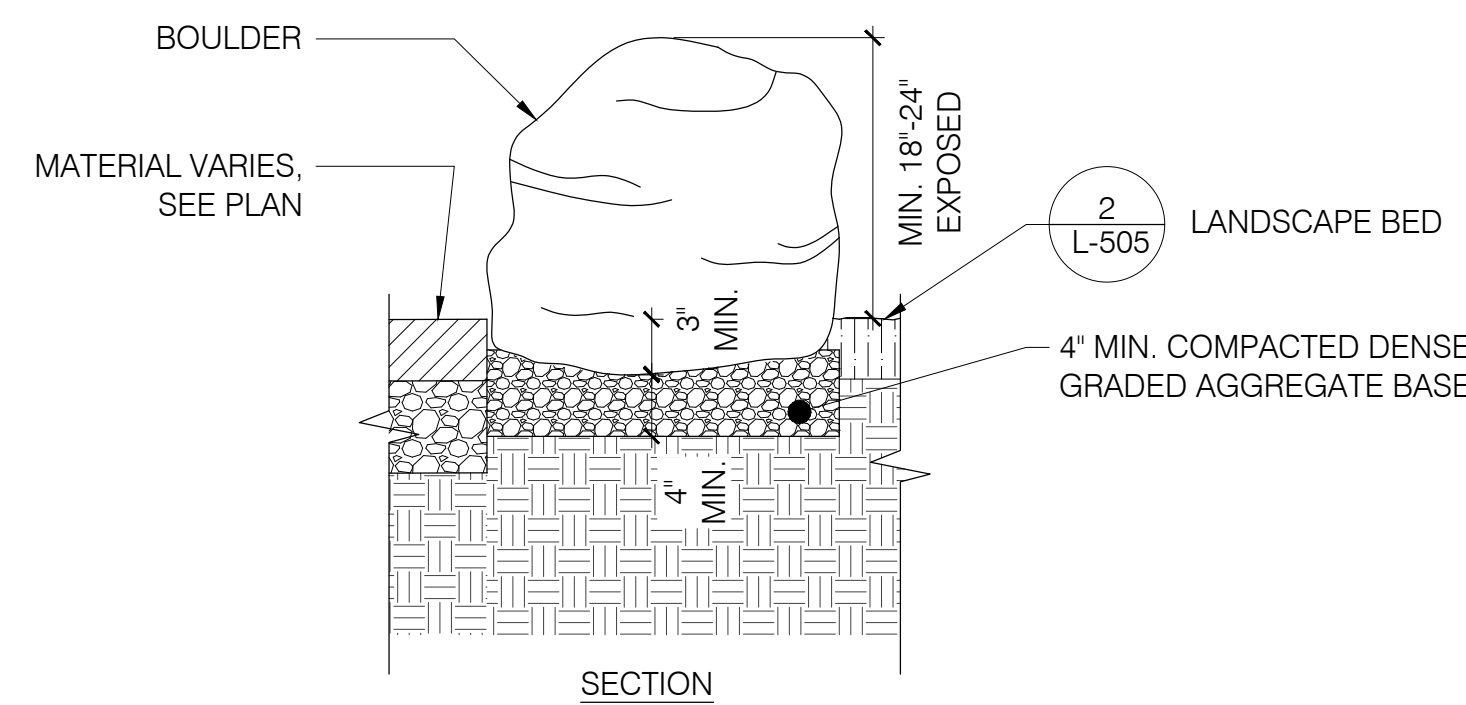
- NOTES:
- MIRAFI 500X OR APPROVED EQUAL
 - PAINTED ASPHALT WILL BE COORDINATED BY PATERSON HABITAT FOR HUMANITY WITH THE COMMUNITY.
 - ASPHALT RESTRAINT MFD. BY PERMALOCK OR APPROVED EQUAL; PRODUCT: ASPHALTEGE ALUMINUM ASPHALT RESTRAINT, 4'X3" FINISH: BLACK

1 CONCRETE SIDEWALK
SCALE: 1-1/2" = 1'-0"



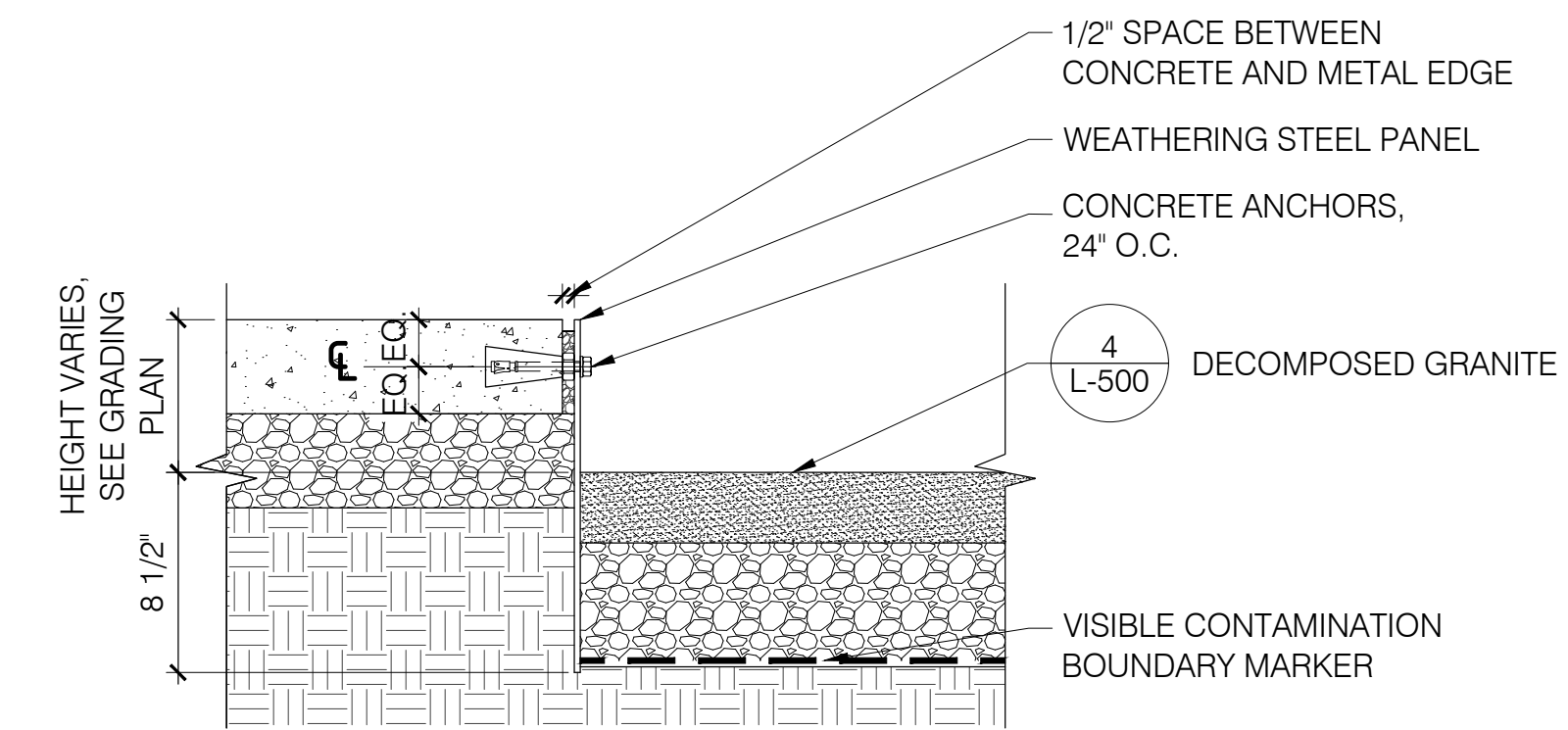
- NOTES:
- DECOMPOSED GRANITE MFD. BY GREEN PRO MATERIALS ENGINEERED SANDS AND SOIL OR APPROVED EQUAL
 - PRODUCT: DECOMPOSED GRANITE
 - COLOR: SALT & PEPPER
 - METAL EDGING SHALL BE MODEL 'STEEL LANDSCAPE EDGING' 3/16" X 4" X 16', 15" LONG STEEL STAKES MANUFACTURED BY SURE-LOC OR APPROVED EQUAL; PAINTED POWDERCOAT BLACK.
 - CONTRACTOR SHALL SUBMIT PRODUCT DATA AND SAMPLE FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.

2 8"X18" CONCRETE CURB
SCALE: 1-1/2" = 1'-0"



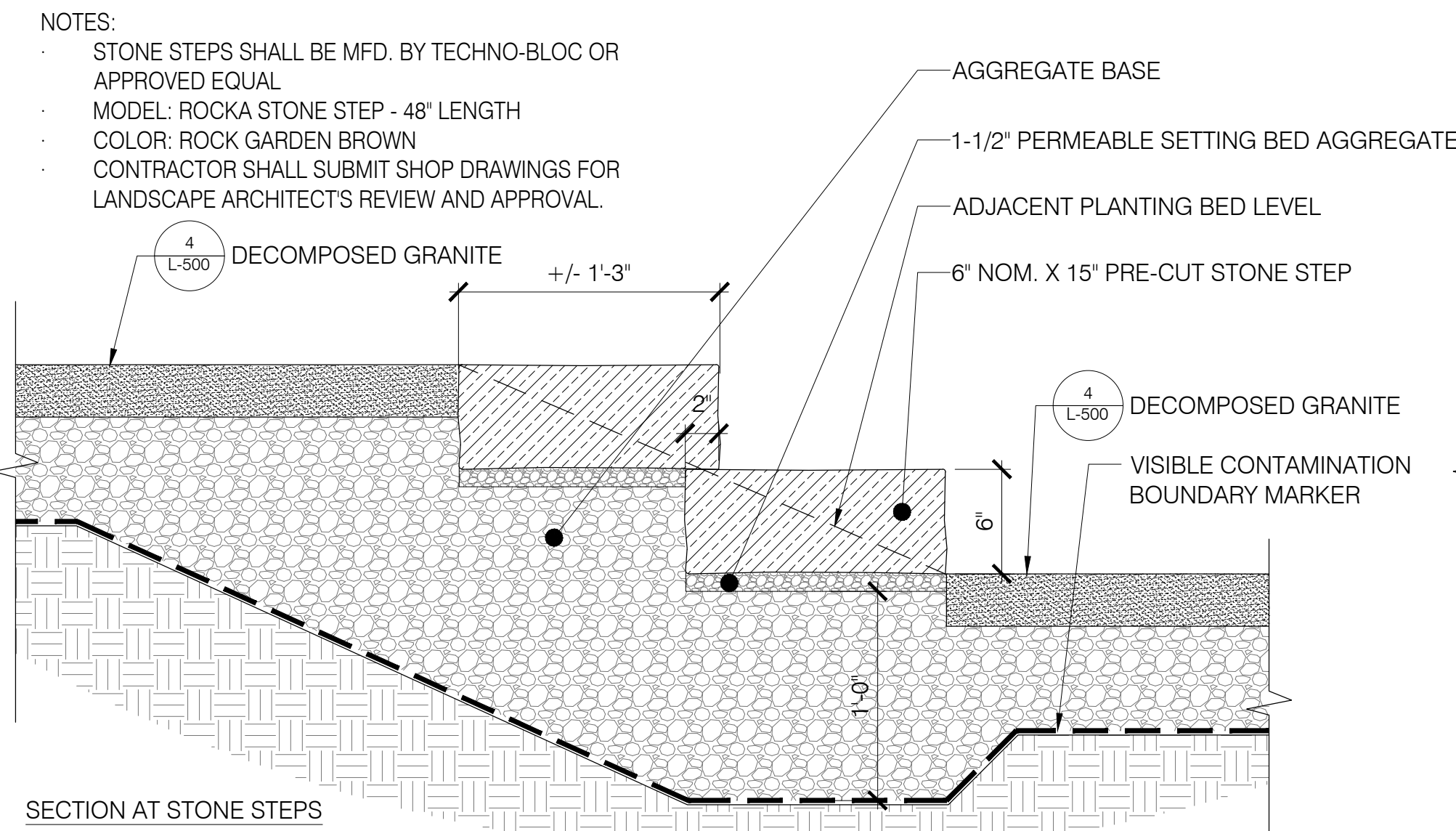
- NOTES:
- BOULDER TYPE SHALL BE NATIVE FIELDSTONE BOULDER.
 - BOULDER SIZES RANGE FROM 18-48 INCHES IN LENGTH AND WIDTH, 18-36 INCHES IN EXPOSED HEIGHT.
 - FINAL SELECTION SHALL BE TAGGED BY THE LANDSCAPE ARCHITECT AT A LOCAL STONE SUPPLIER SELECTED BY THE CONTRACTOR OR AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
 - FINAL LOCATION OF BOULDER SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - 3/4" STONE BASE SHOULD BE HAND COMPACTED

3 ASPHALT PAVING
SCALE: 1-1/2" = 1'-0"



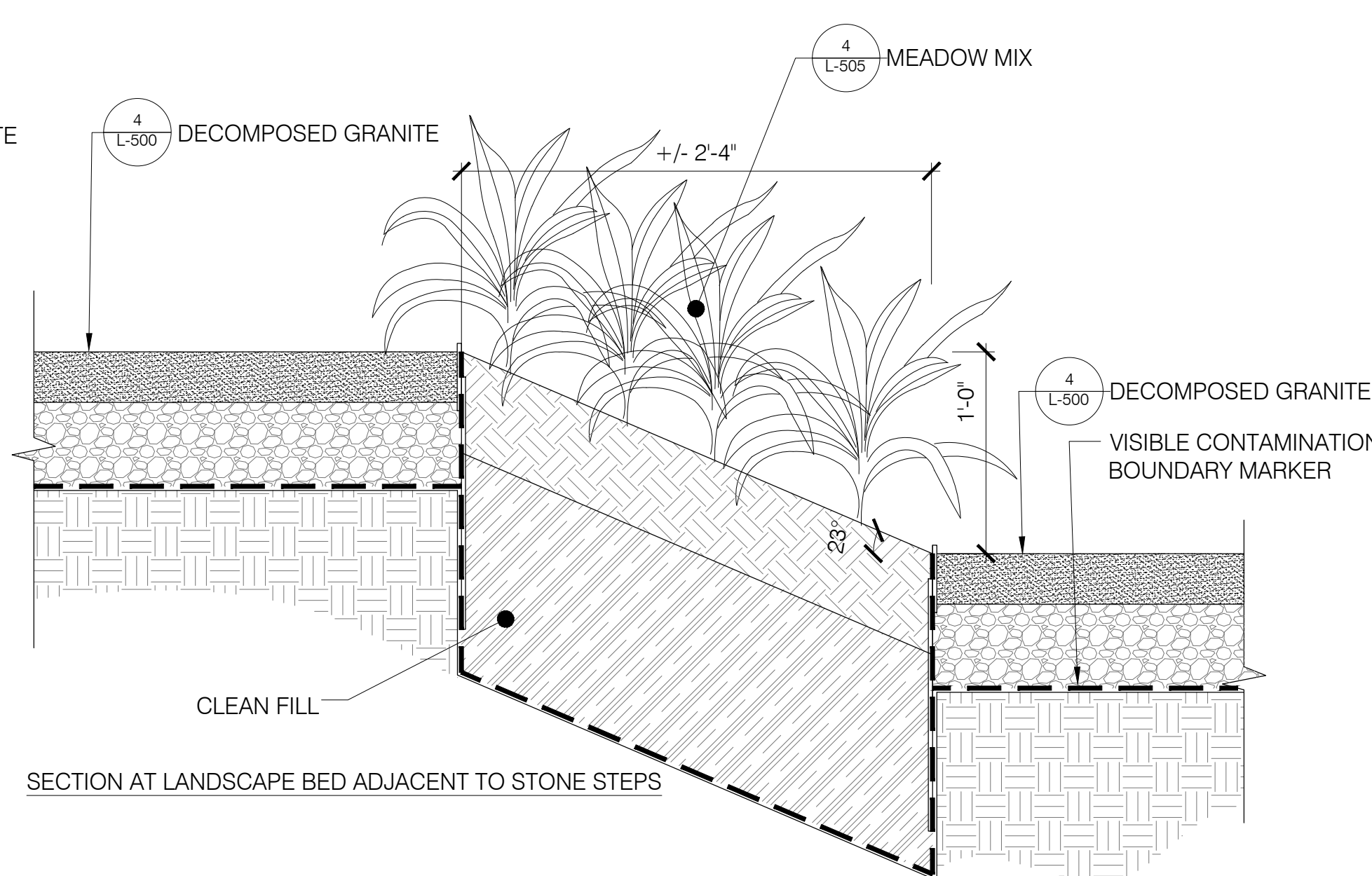
- NOTES:
- METAL EDGE TO BE 1/4" THICK WEATHERING STEEL OR APPROVED EQUAL.

4 DECOMPOSED GRANITE
SCALE: 1-1/2" = 1'-0"

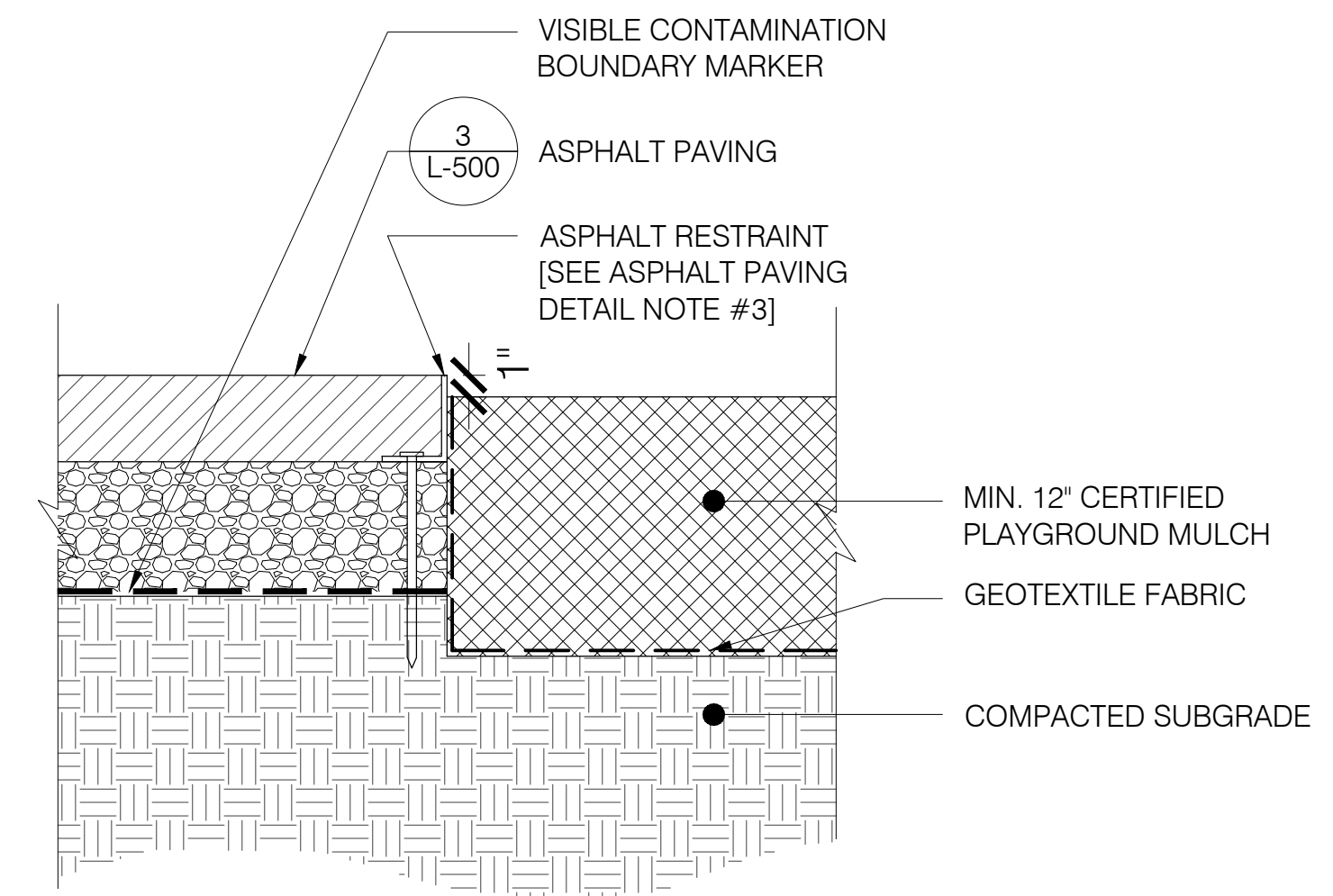


7 STONE STEPS
SCALE: 1-1/2" = 1'-0"

5 BOULDER
SCALE: 1" = 1'-0"



6 METAL EDGE PANEL
SCALE: 1-1/2" = 1'-0"



- NOTES:
- PLAYGROUND MULCH MUST BE CERTIFIED FOR PLAYGROUND USE.
 - CONTRACTOR MUST SUBMIT PRODUCT DATA AND SAMPLE FOR LANDSCAPE ARCHITECT'S REVIEW.

8 PLAYGROUND MULCH
SCALE: 1-1/2" = 1'-0"

\\VOLUMES\01-PROJECTS\02-2019-127.1 CLINTON STREET PARK\6.0 02-2019-127.1 CADD\6.7 SHEETS\CDL-L-500_CONSTRUCTION DETAILS.DWG
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DL

David I. Lustberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

Issue:
No. Date Remarks

Sheet Title:
CONSTRUCTION DETAILS

Drawn By: VH

Checked By: JR

Date: 08/24/2022

Scale: AS NOTED

Project Number: 02-2019-127.1

L-500

Sheet: 15 of 21

Client:
Paterson Habitat For Humanity
146 North 1st Street
Paterson, NJ 07522
Phone: (973) 595-6868
Email:

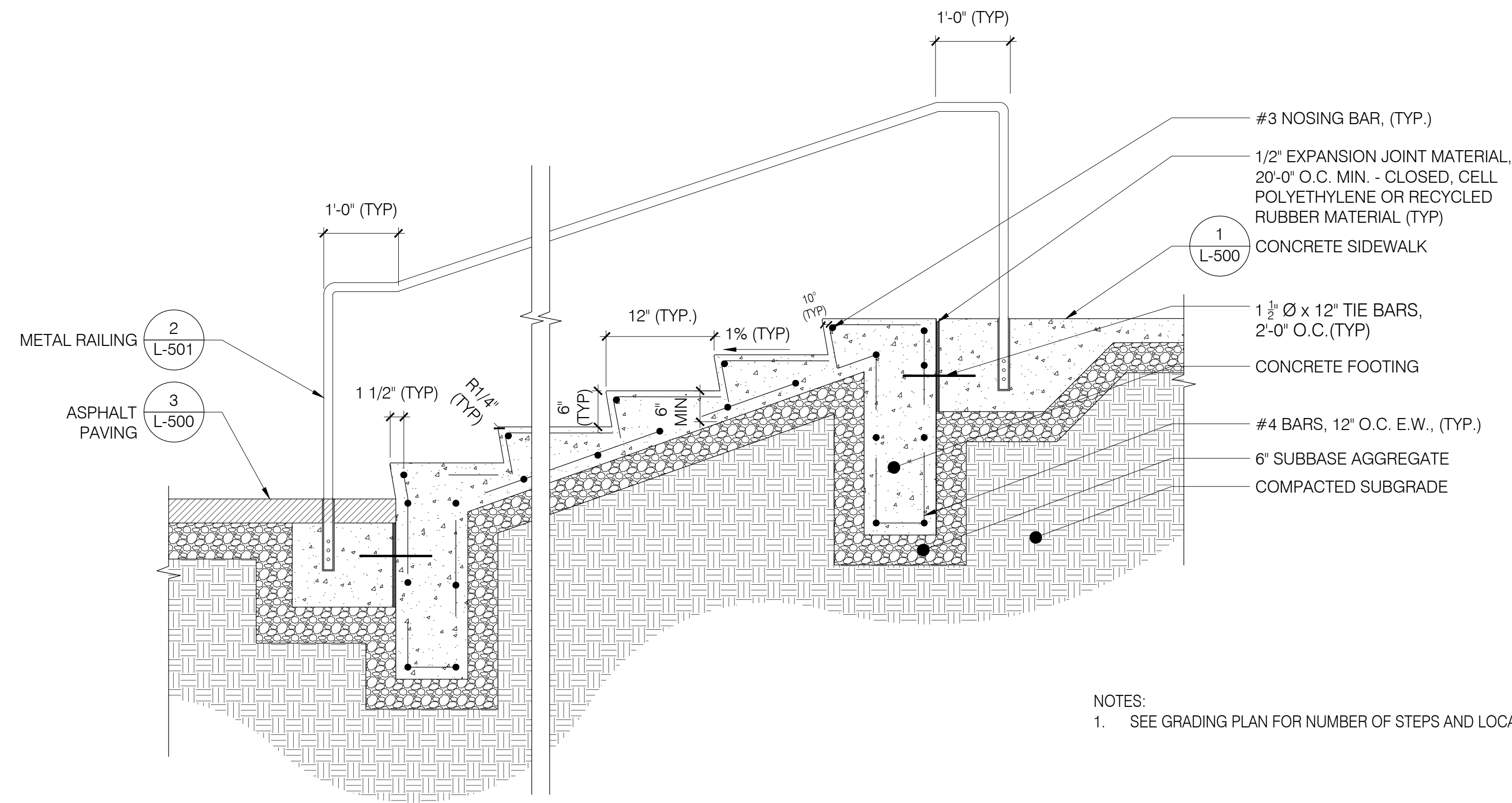
Landscape Architect

Arterial

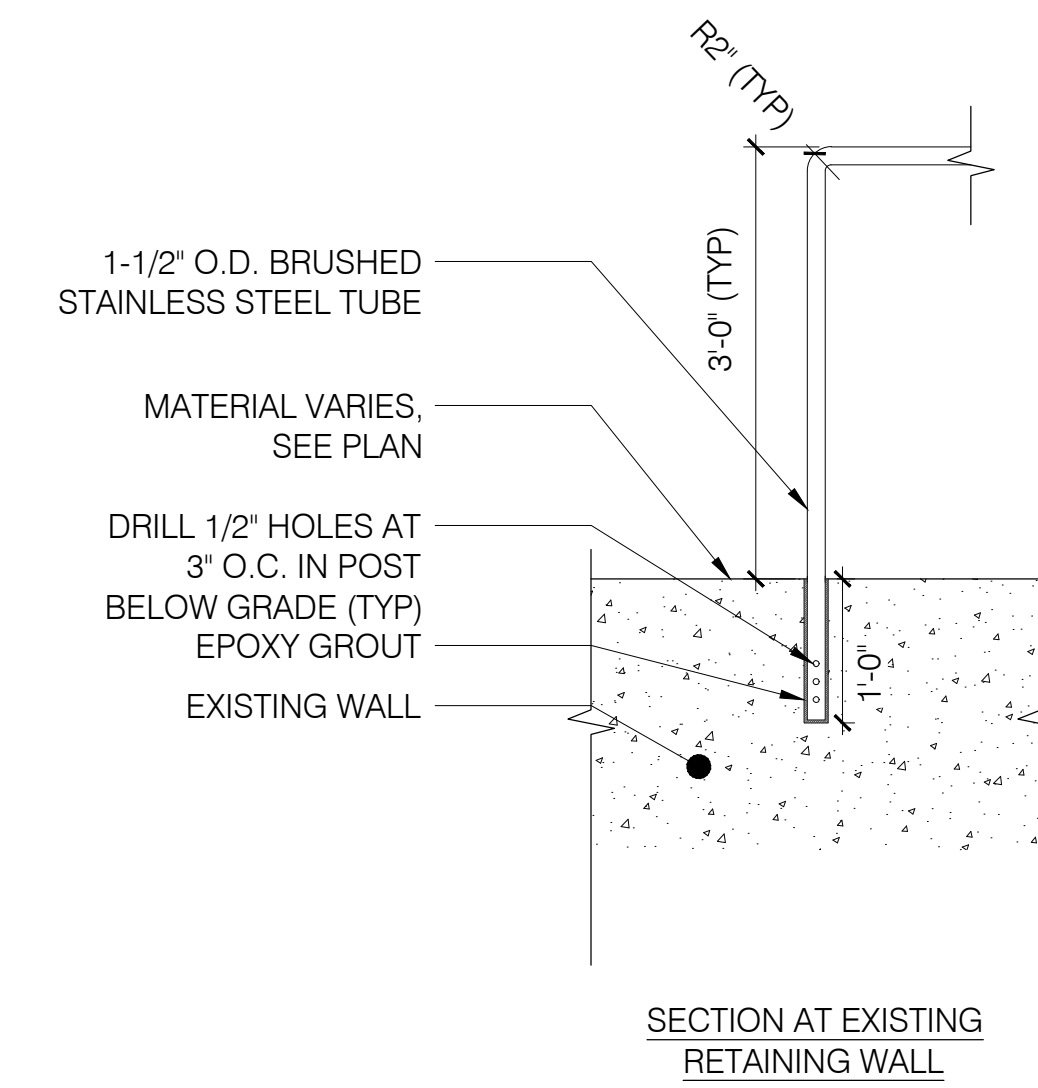
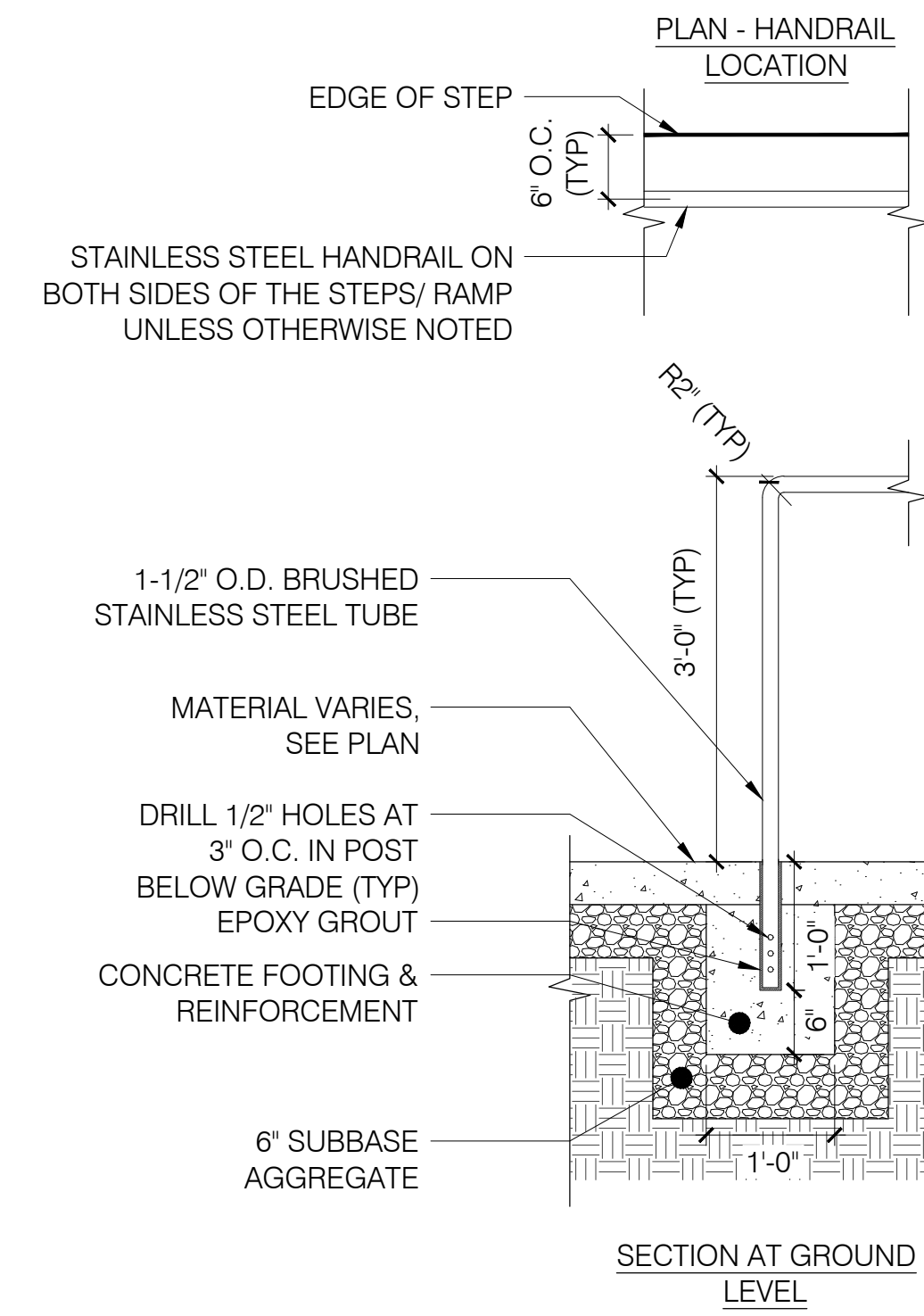
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COFA #MH000044

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Civil Engineer:
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320 Lenox Avenue
Pompton Lakes, NJ, 07442
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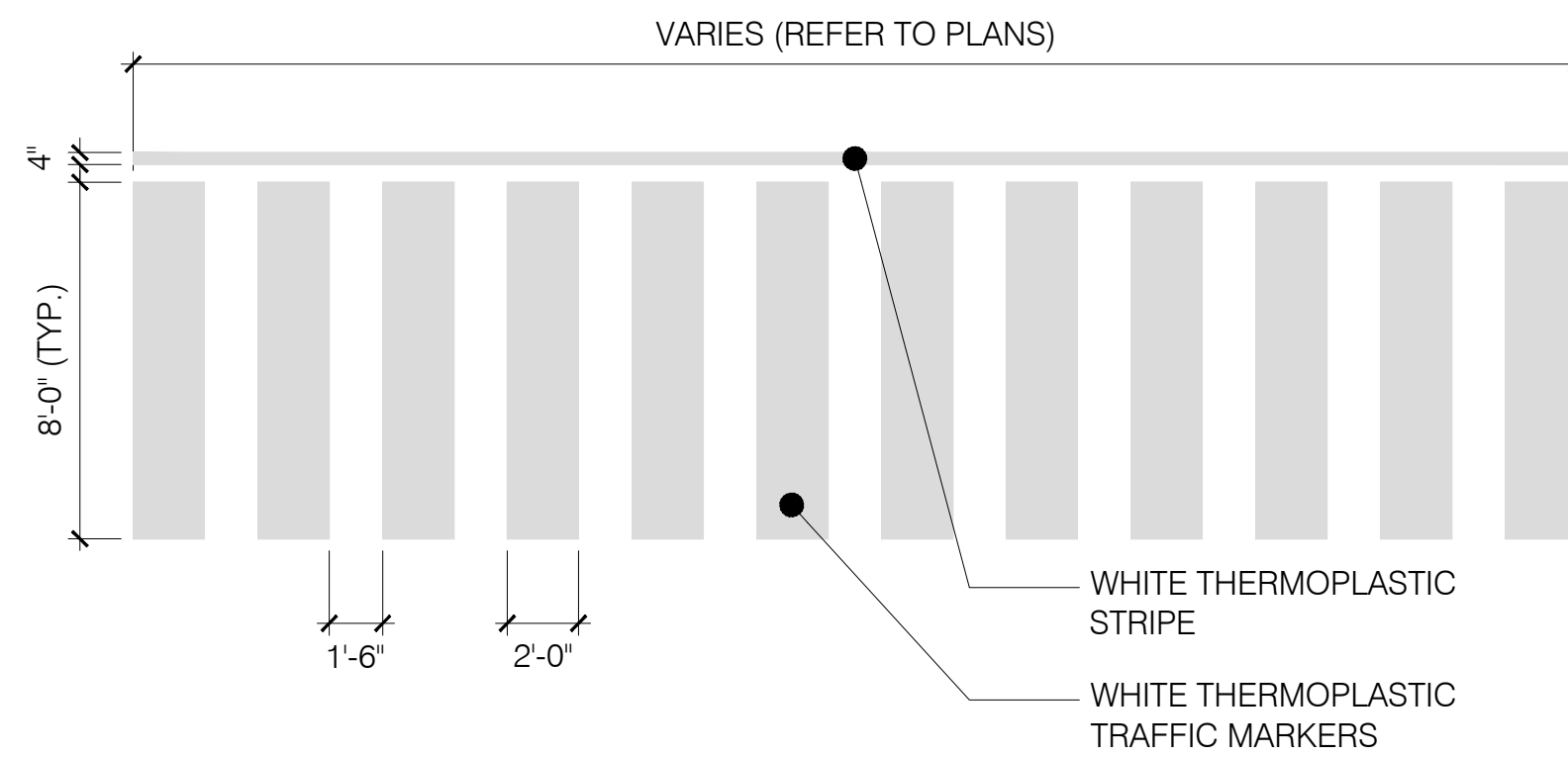


NOTES:
1. SEE GRADING PLAN FOR NUMBER OF STEPS AND LOCATIONS.

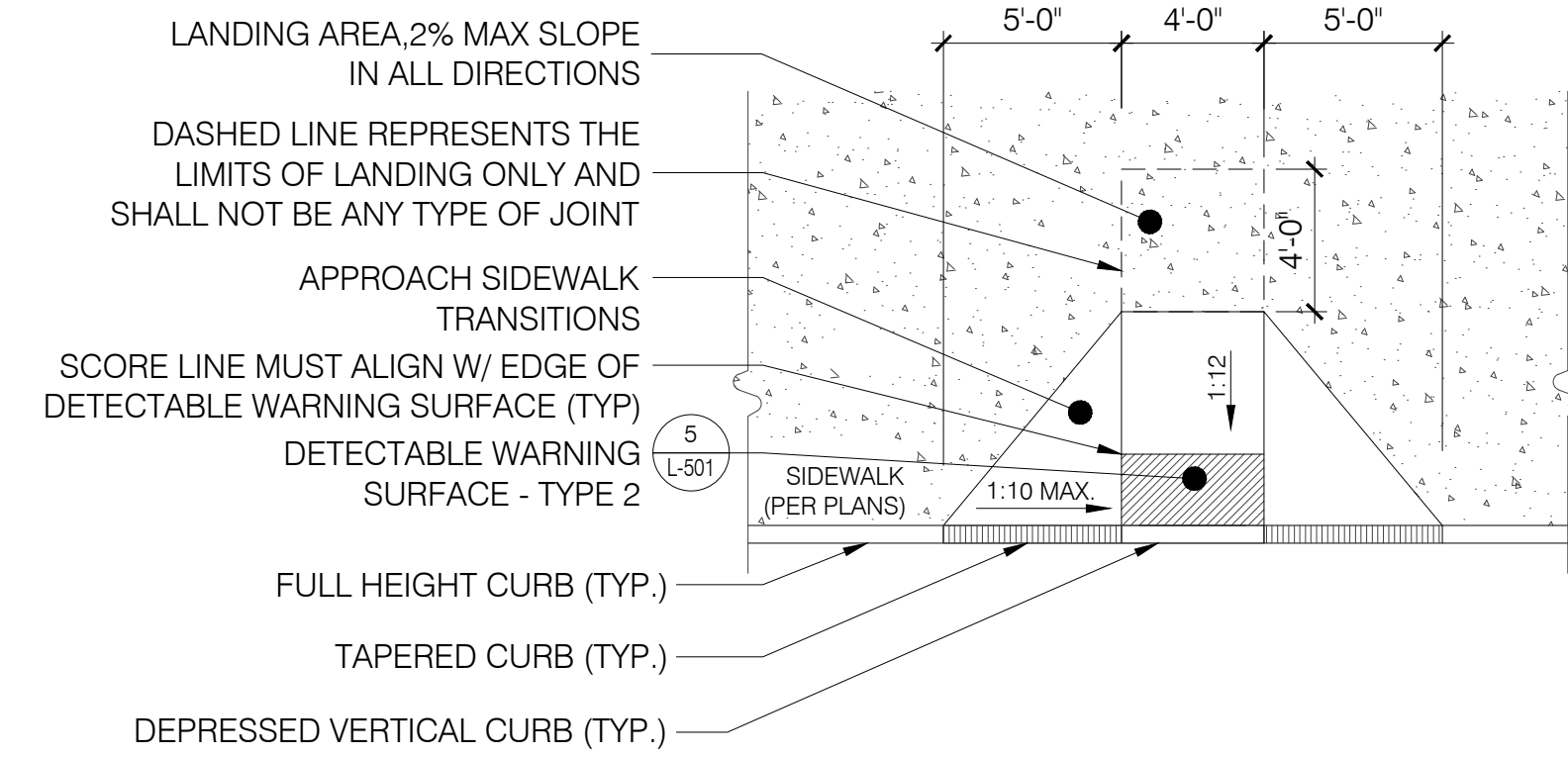


1 CONCRETE STEPS
SCALE: 3/4\" = 1'-0"

2 METAL RAILING
SCALE: 3/4\" = 1'-0"

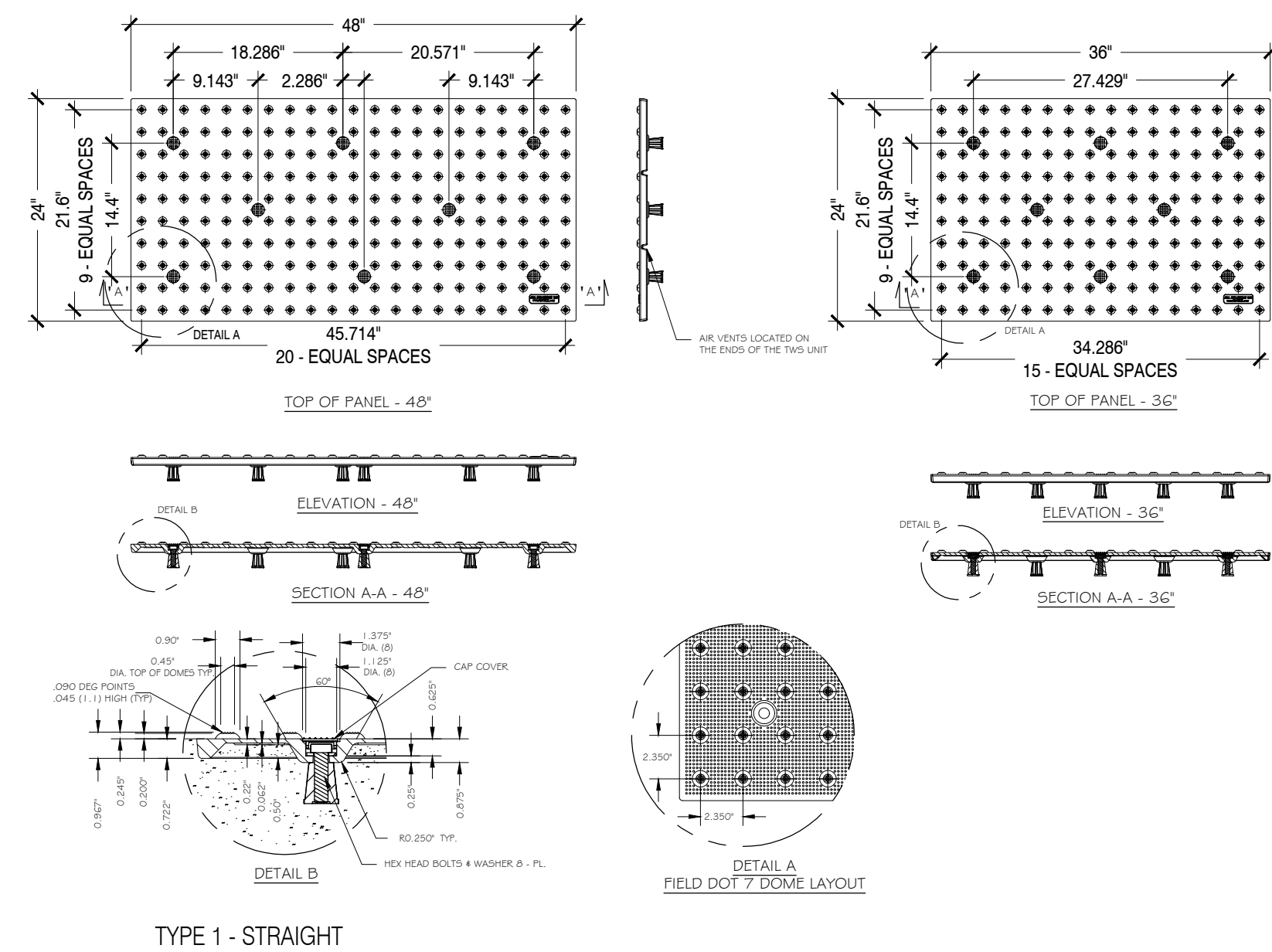


3 THERMOPLASTIC CROSSWALK
SCALE: 3/16\" = 1'-0"



PERPENDICULAR CURB RAMP NOTES:
1. CURB RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKED CROSSING, EXCLUDING THE FLARED SIDES.
2. WHENEVER POSSIBLE, CURB RAMP SHALL BE PERPENDICULAR TO THE CURB.

4 CURB RAMP
SCALE: 3/16\" = 1'-0"

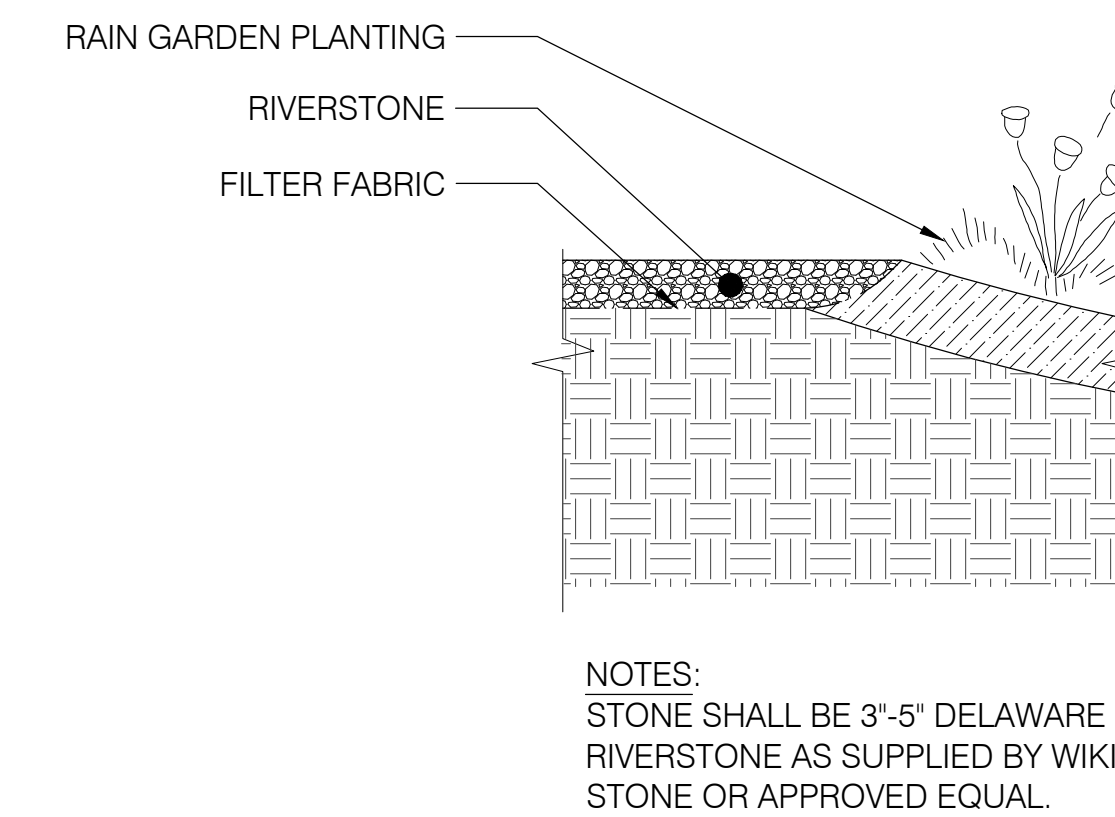


TRUNCATED DOME PAVERS AS MFD. BY: ADA SOLUTIONS, INC. OR APPROVED EQUAL
P.O. BOX 3
NORTH BILLERICA, MA 01862
TEL: (800) 372. 0519
FAX: (978) 262. 9125
HTTP://ADATILE.COM
EMAIL: INFO@ADATILE.COM

TYPE: CAST-IN PLACE REPLACEABLE TRUNCATED DOME DETECTABLE WARNING SYSTEMS
PAVER: TACTILE PAVER
MATERIAL: GLASS & CARBON COMPOSITE
COLOR: BRICK RED

NOTE:
1. ALL ADA CURB RAMP WITH A STRAIGHT CURB TO USE THIS TACTILE PAVER FOR THE DETECTABLE WARNING SURFACE.

5 DETECTABLE WARNING SURFACE
SCALE: 3/4\" = 1'-0"



NOTES:
STONE SHALL BE 3\"-5\" DELAWARE RIVERSTONE AS SUPPLIED BY WIKI STONE OR APPROVED EQUAL.

6 RIVER STONE
SCALE: 1-1/2\" = 1'

DL

David I. Lusberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

Issue:		
No.	Date	Remarks

Sheet Title:
CONSTRUCTION DETAILS

Drawn By: VH	L-501
Checked By: JR	
Date: 08/24/2022	
Scale: AS NOTED	
Project Number: 02-2019-127.1	
Sheet: 16 of 21	

Client:
Paterson Habitat For Humanity
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Paterson, NJ 07522
Phone: (973) 595-6868
Email:

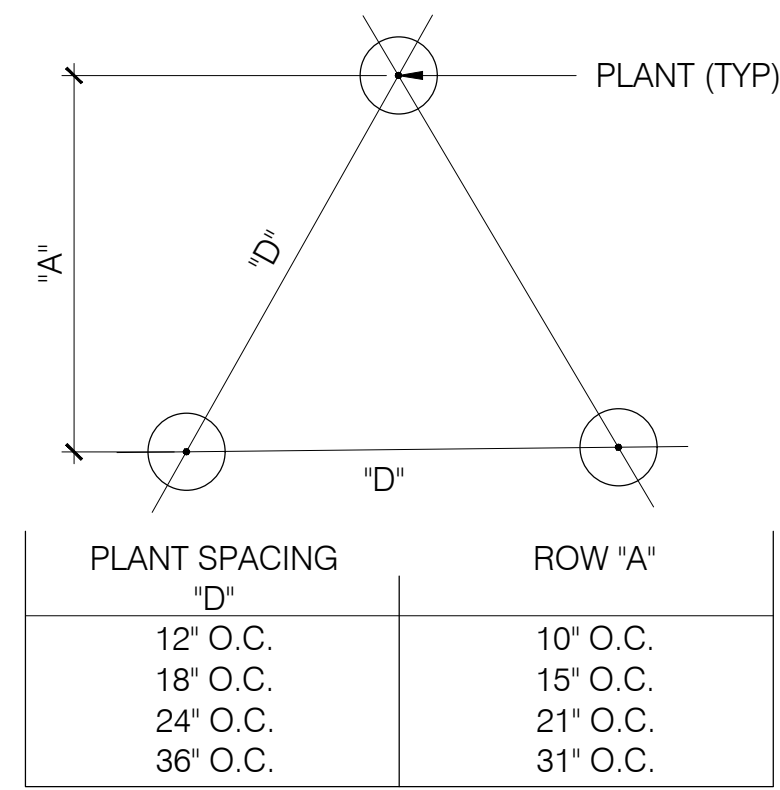
Landscape Architect

Arterial

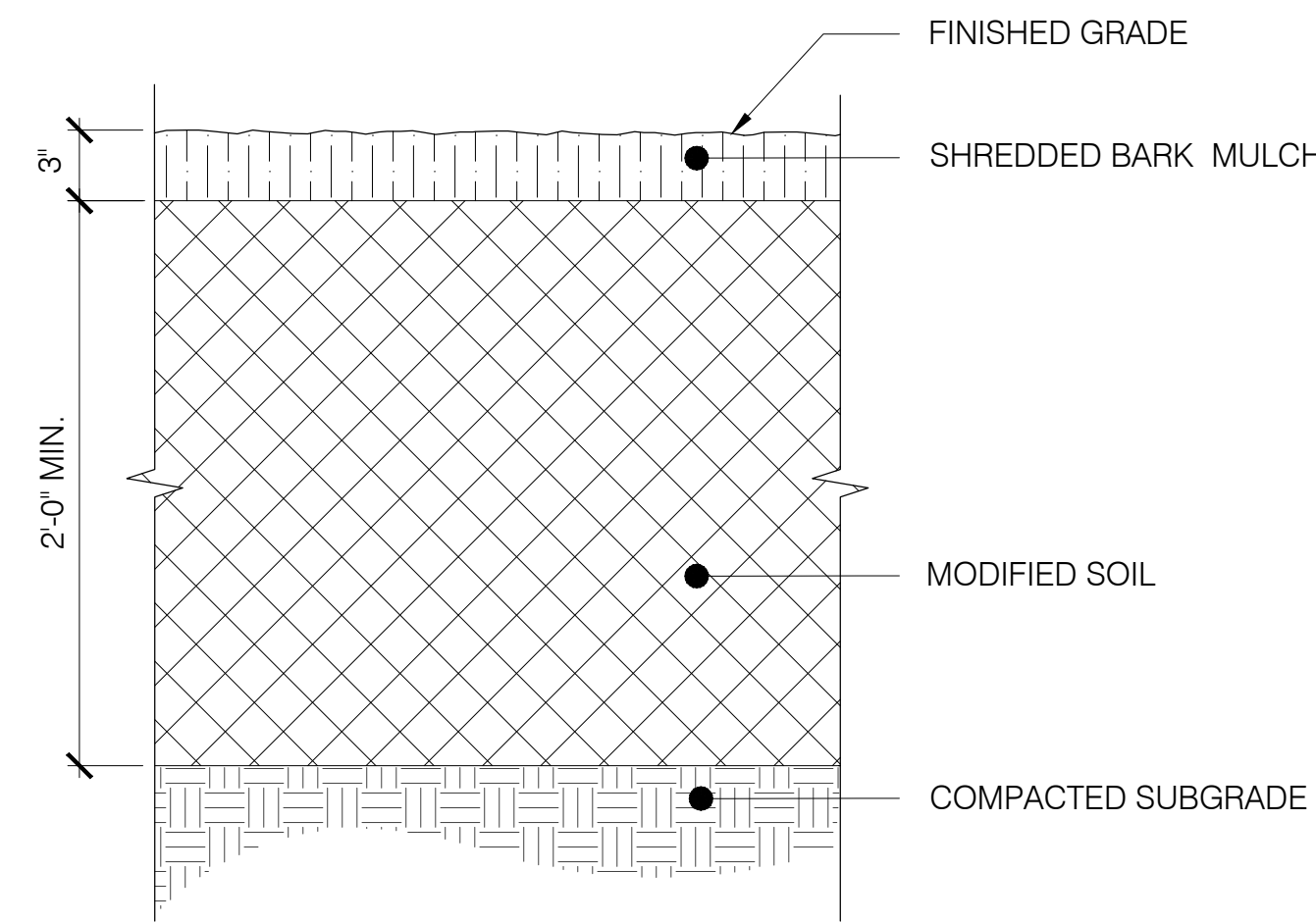
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COFA #MH000044

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info@arterialstreets.com

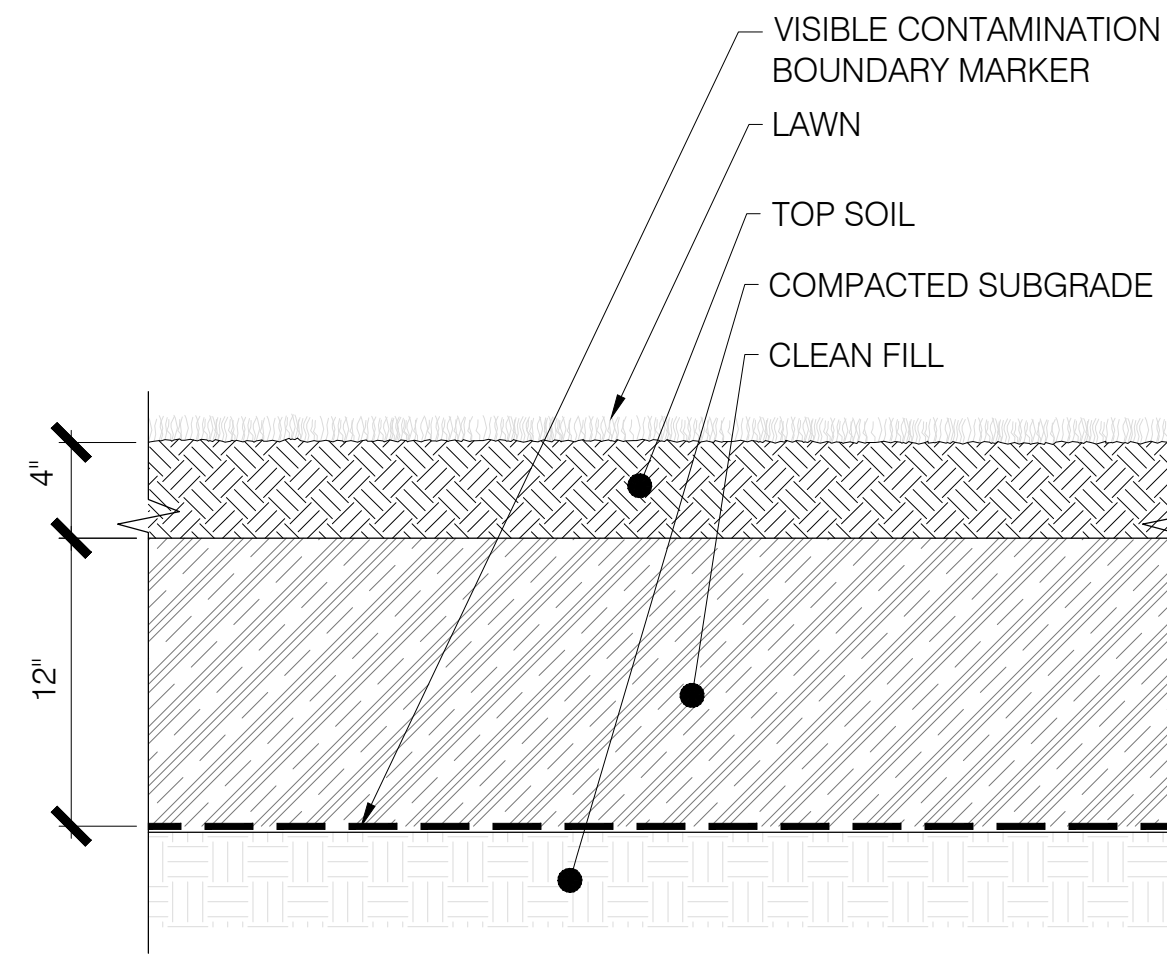
Civil Engineer:
CHISVETTE ENGINEERING, LLC
320 Lenox Avenue
Pompton Lakes, NJ, 07442
Phone: (973) 897-7968
Fax: (973) 970-2010



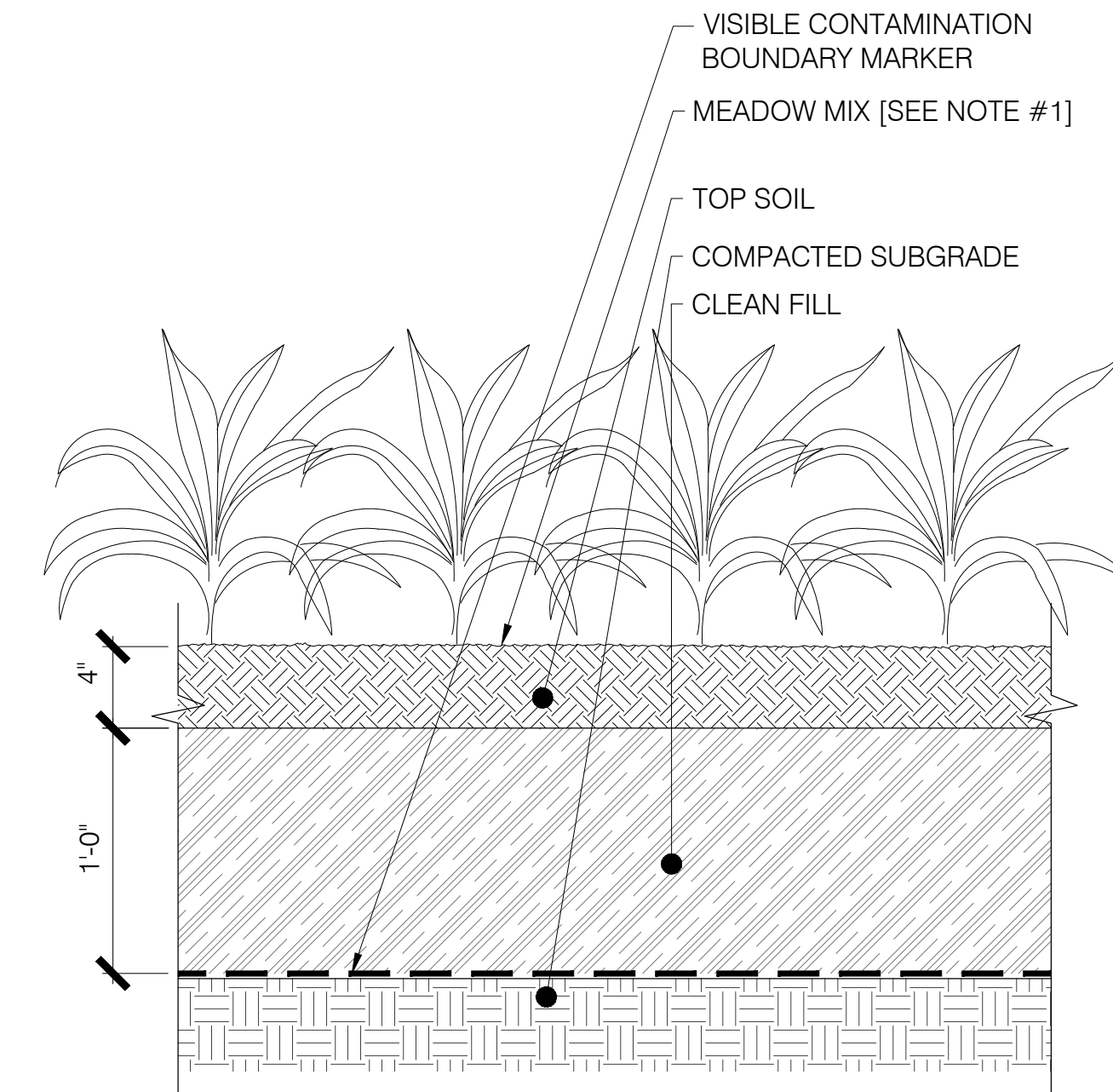
NOTE:
GROUNDCOVERS AND PERENNIALS
TO BE INSTALLED WITH TRIANGULAR SPACING



NOTES:
FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO OWNERSHIP. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.



NOTES:
FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO OWNERSHIP. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 6" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.



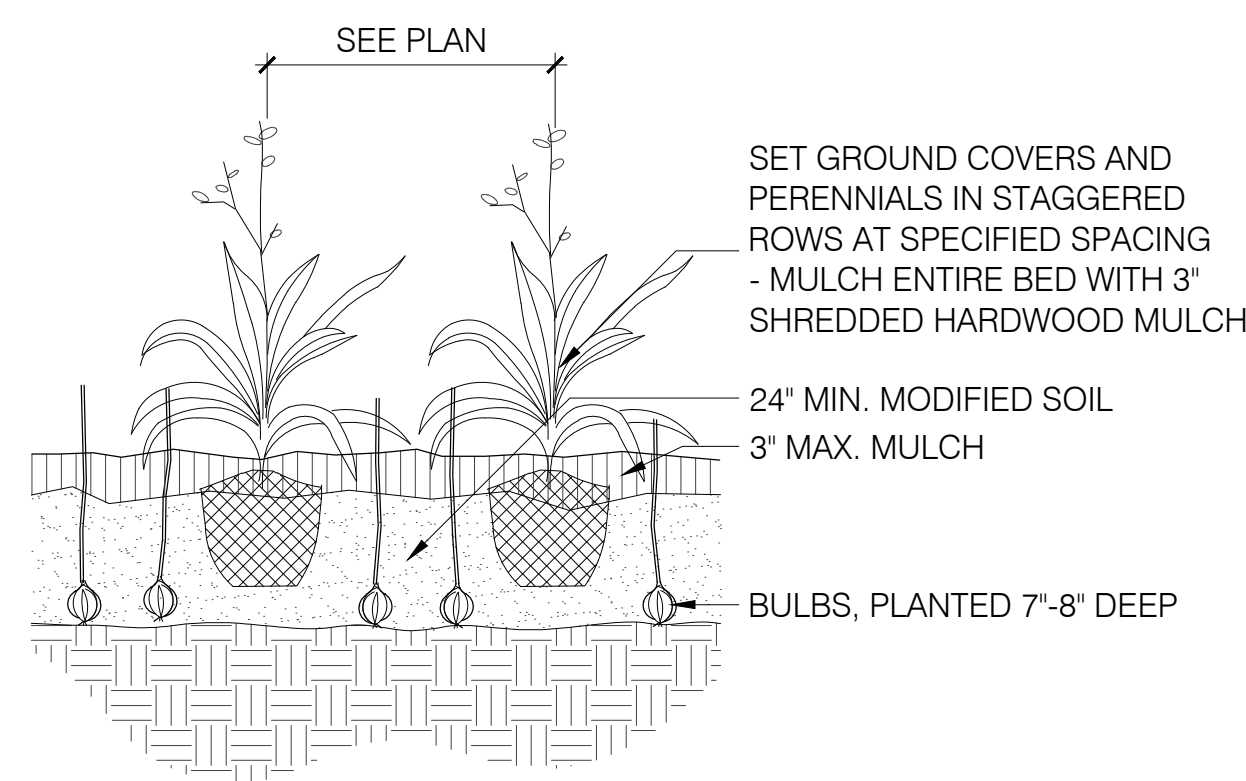
NOTES:
1. SEE SPECIFICATION SECTION 32 94 00 MEADOW MIX FOR DETAILS
2. FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO OWNERSHIP. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 6" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.

1 TYPICAL PLANT SPACING
SCALE: 3/4" = 1'-0"

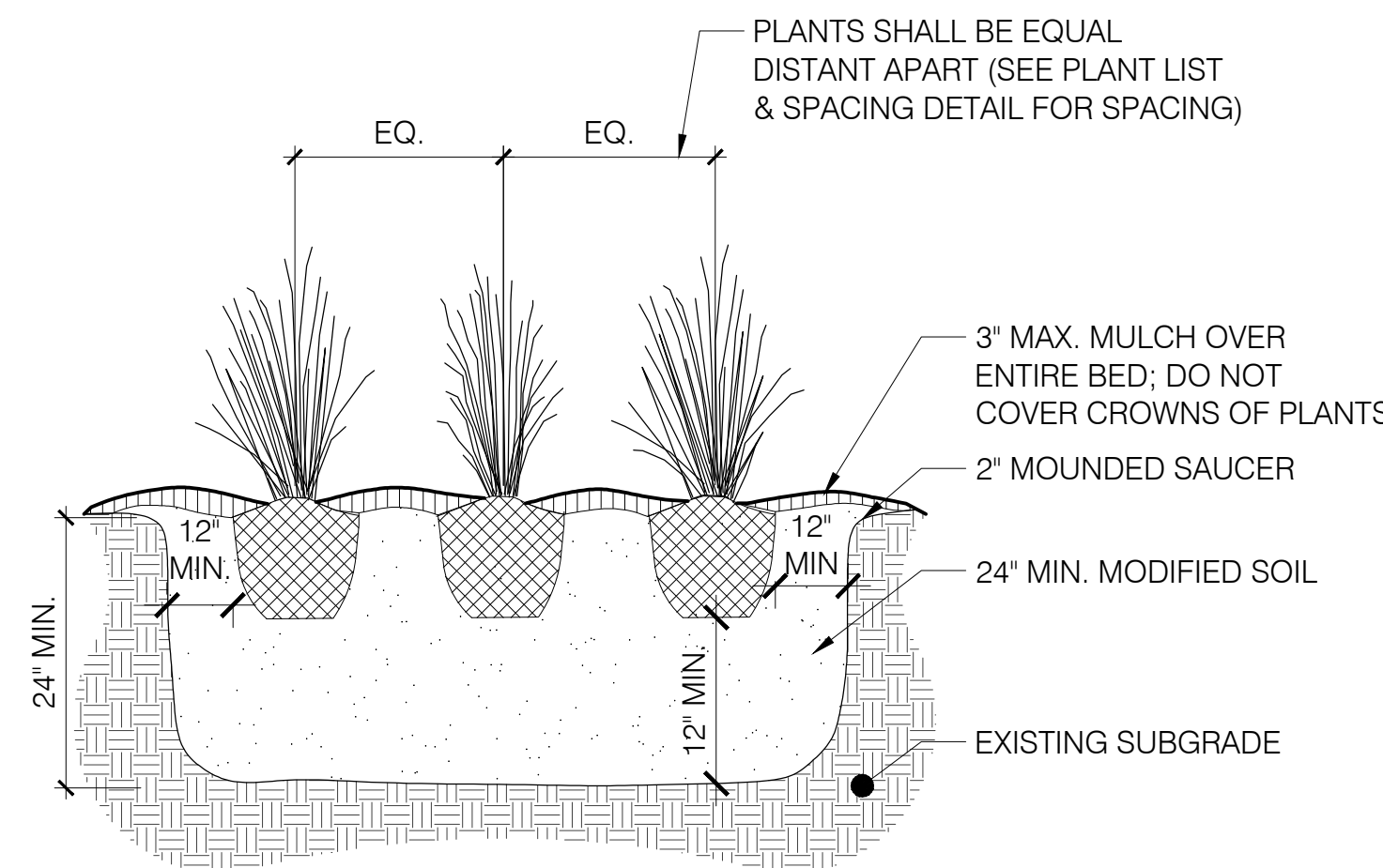
2 LANDSCAPE BED
SCALE: 1" = 1'-0"

3 LAWN
SCALE: 1" = 1'-0"

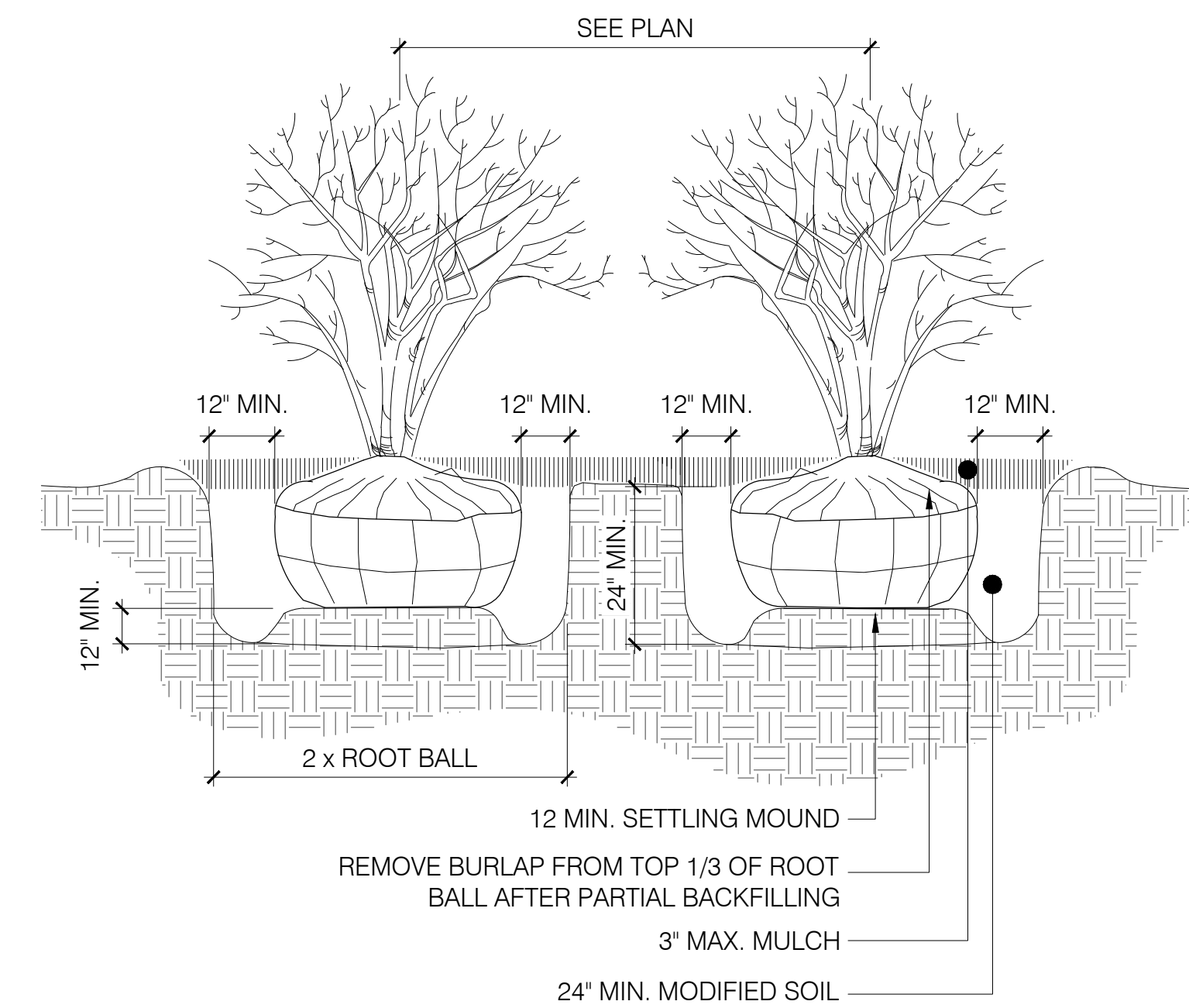
4 MEADOW MIX
SCALE: 1" = 1'-0"



NOTES:
FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO LANDSCAPE ARCHITECT. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.



NOTES:
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5 TYPICAL GROUNDCOVER / PERENNIAL PLANTING
SCALE: 1" = 1'-0"

6 TYPICAL ORNAMENTAL GRASS PLANTING
SCALE: 1" = 1'-0"

7 TYPICAL SHRUB PLANTING
SCALE: 1" = 1'-0"

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DL
David I. Lusberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

Issue:
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Sheet Title:
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Drawn By: VH
Checked By: JR
Date: 08/24/2022
Scale: AS NOTED
Project Number: 02-2019-127.1
Sheet: 20 of 21

L-505

Client:
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Paterson, NJ 07522
Phone: (973) 595-6868
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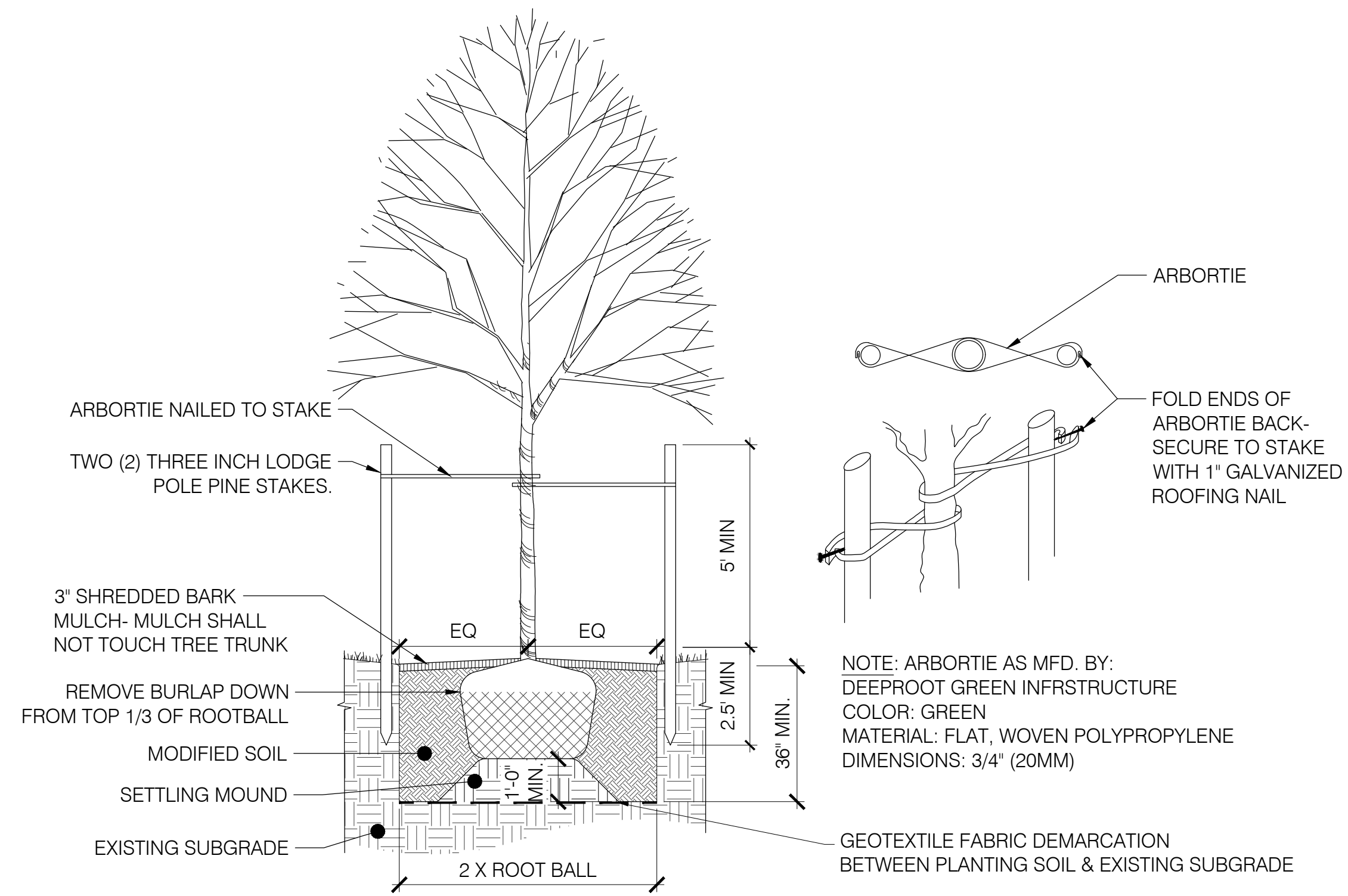
Landscape Architect

Arterial

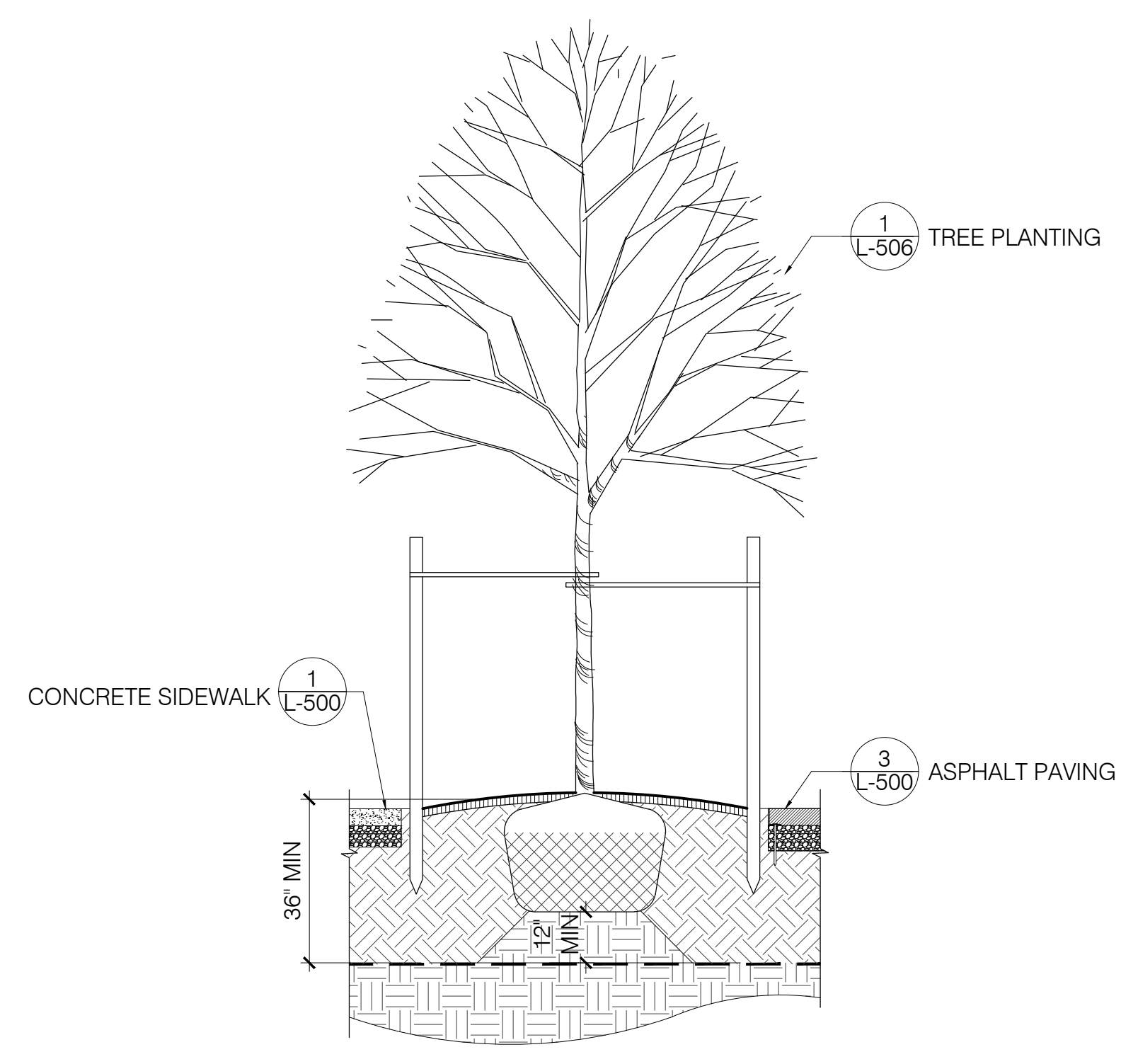
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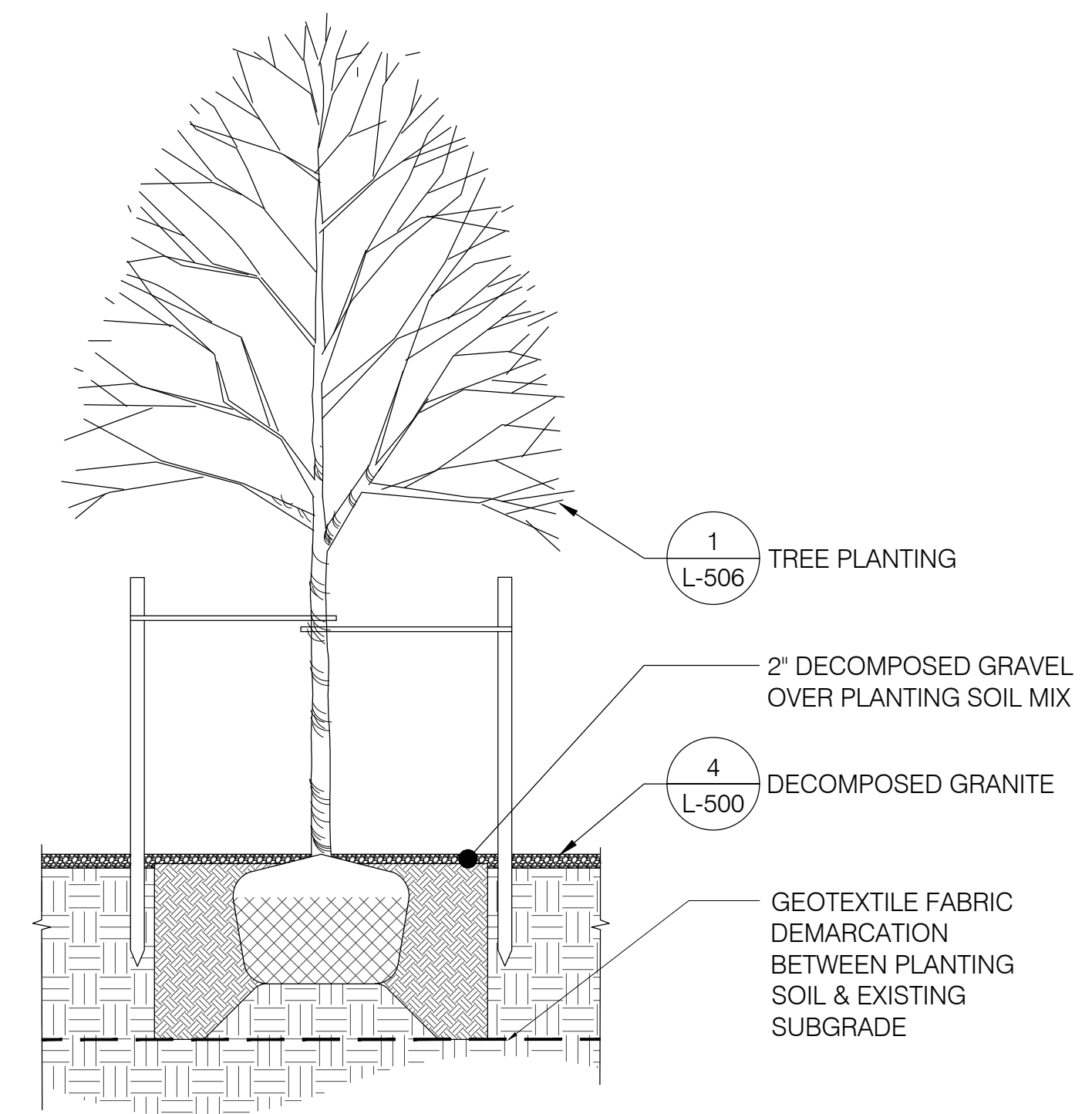
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Phone: (973) 897-7968
Fax: (973) 970-2010



NOTES:
FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO LANDSCAPE ARCHITECT. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.
SEE TREE STAKING DETAIL FOR STAKING INFORMATION.



NOTES:
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SEE TREE STAKING DETAIL FOR STAKING INFORMATION.



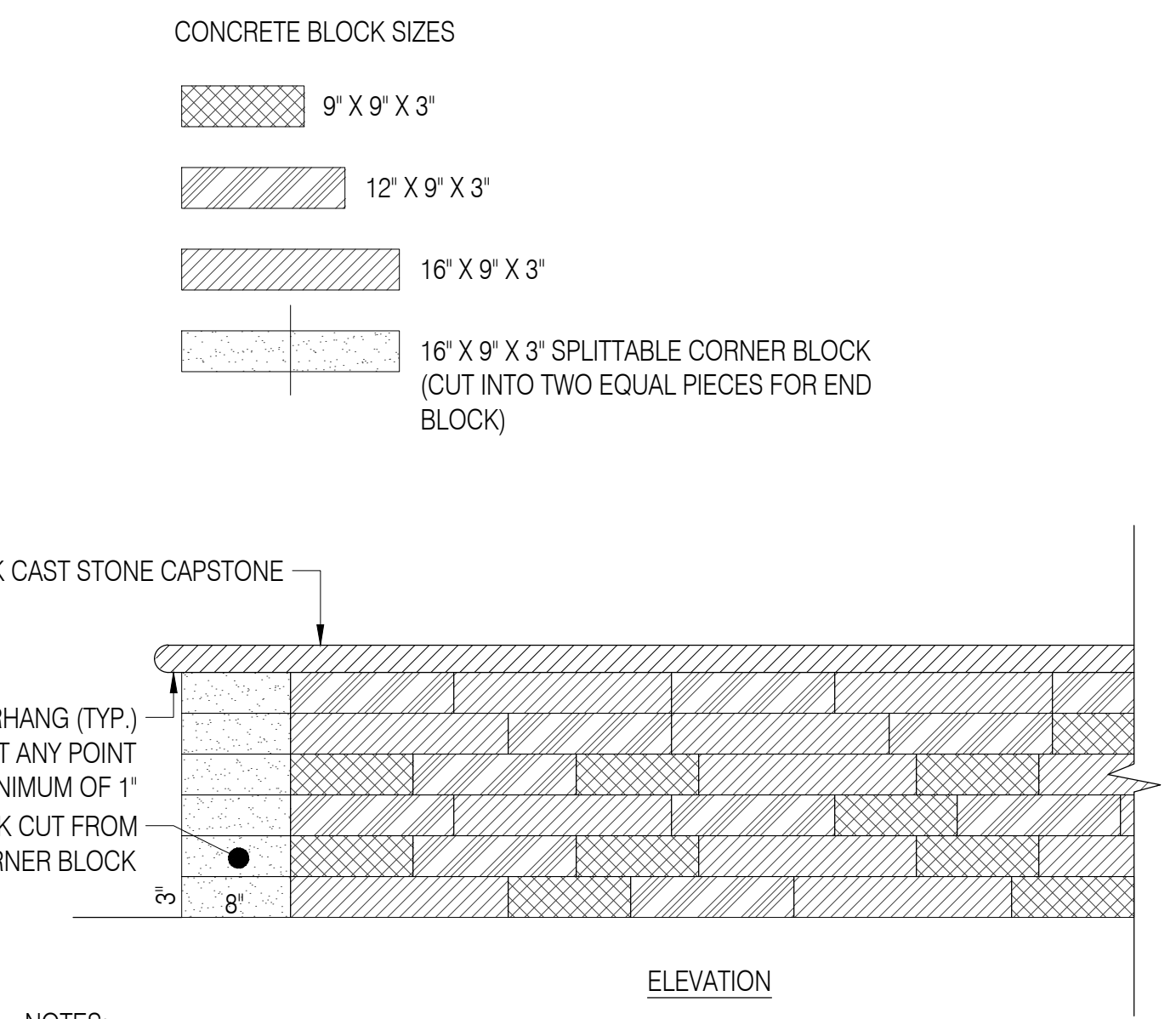
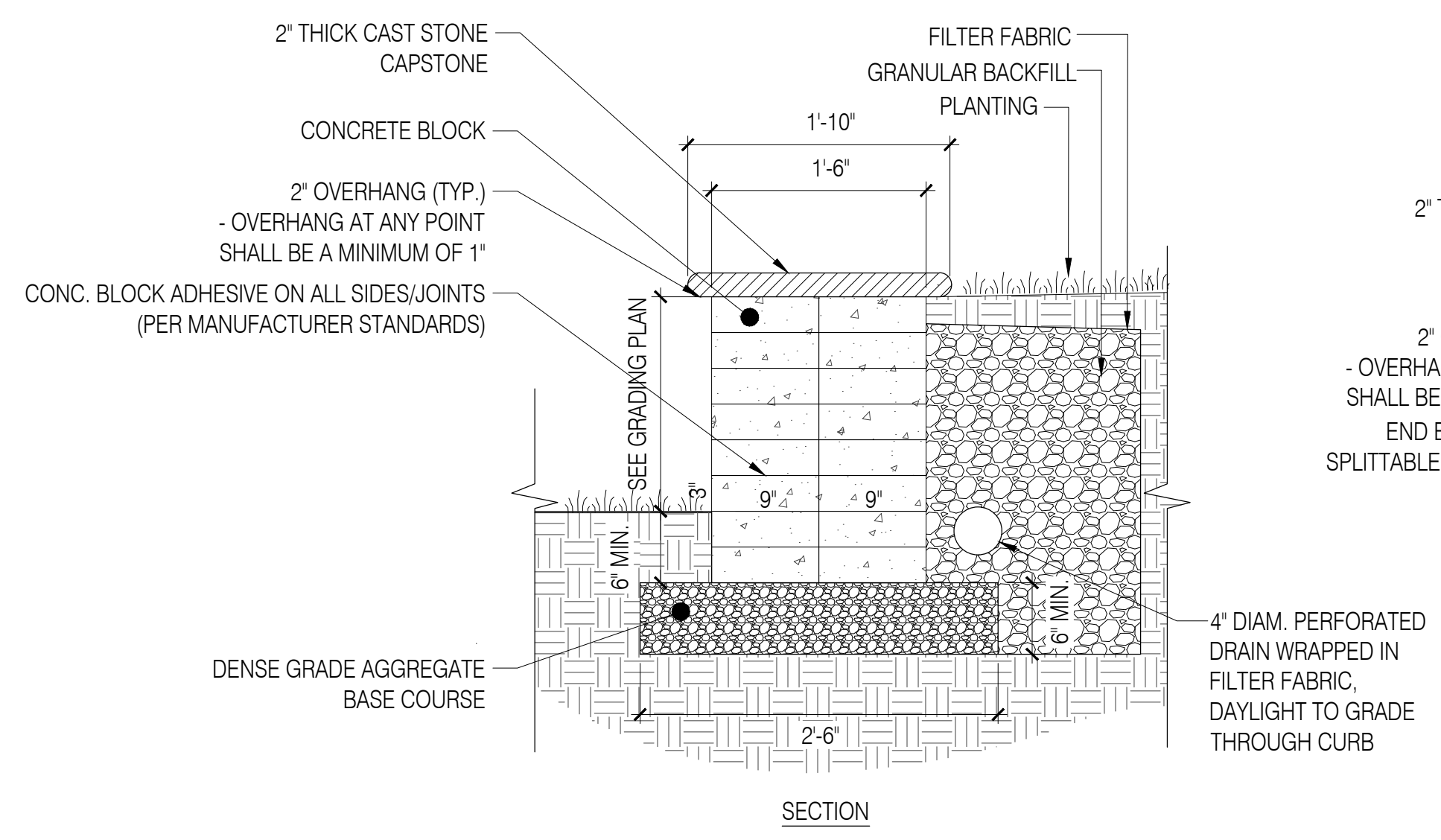
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SEE TREE STAKING DETAIL FOR STAKING INFORMATION.

1 TREE PLANTING
SCALE: 3/4" = 1'-0"

2 TREE PIT PLANTING
SCALE: 3/4" = 1'-0"

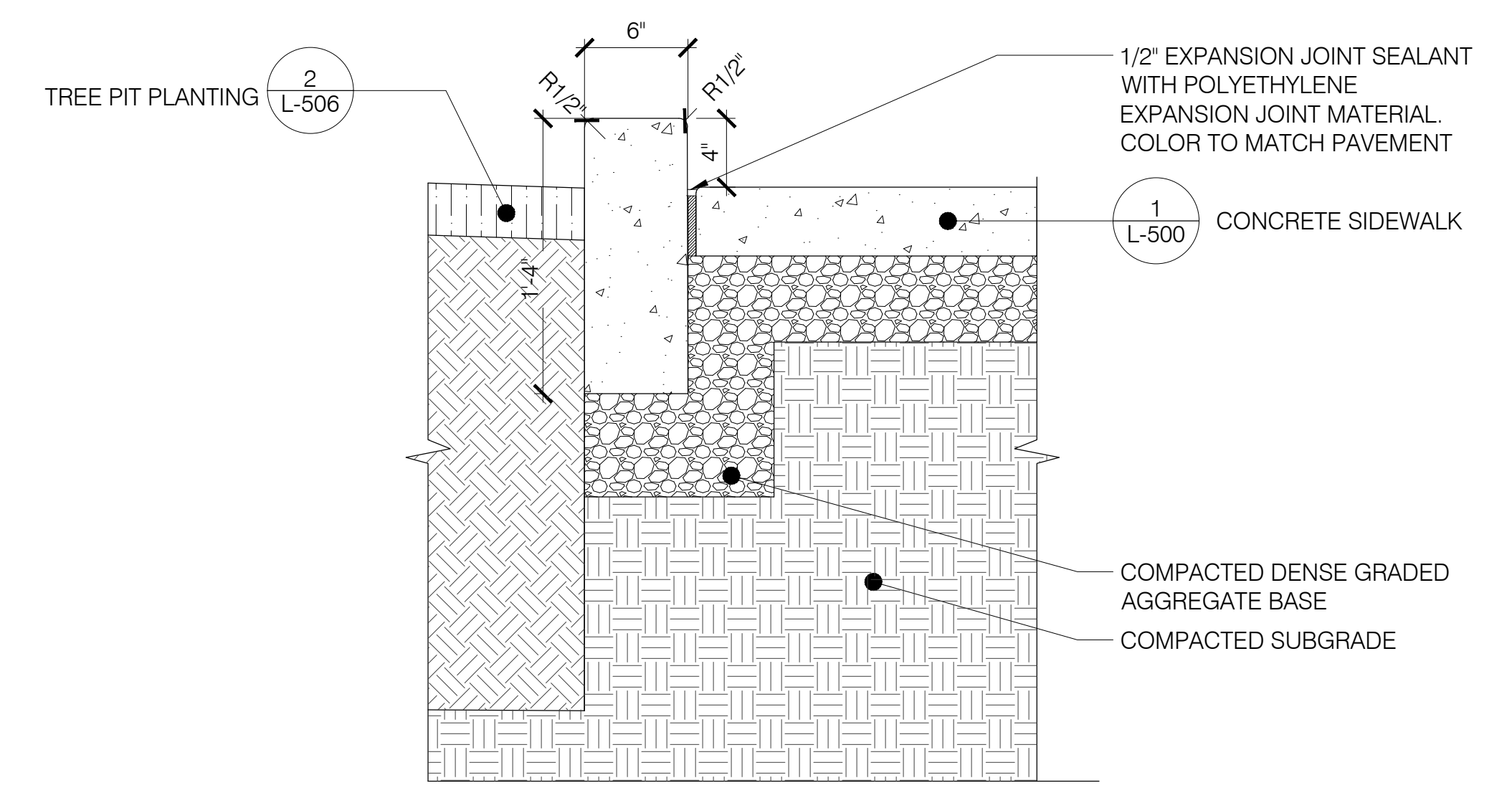
3 TREE PLANTING AT DECOMPOSED GRANITE
SCALE: 3/4" = 1'-0"

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NOTES:
1. CONCRETE BLOCK WALL SHALL BE MINI-COLONIAL WALL SYSTEM BY NICOLock OR APPROVED EQUAL. COLOR: GRANITE CITY BLEND.
2. CONCRETE BLOCK WALL PATTERN IS RANDOM AND TO BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT.
3. CAST CAPSTONE SHALL BE BY AMERICAN ART STONE OR APPROVED EQUAL. COLOR: A-1.
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.

4 BLOCK WALL W/ STONE TOP SEATING
SCALE: 1" = 1'-0"



NOTES:
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5. PROVIDE 1/2" EXPANSION JOINT FILLER, BACKER ROD & SEALANT AT ALL CURBS, BLDGS, WALLS, OR EVERY 20' O.C. MAX.

5 6\"/>

DL
David I. Lusberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

Issue:

No.	Date	Remarks

Sheet Title: CONSTRUCTION DETAILS	
Drawn By: VH	L-506
Checked By: JR	
Date: 08/24/2022	
Scale: AS NOTED	
Project Number: 02-2019-127.1	
Sheet: 21 of 21	