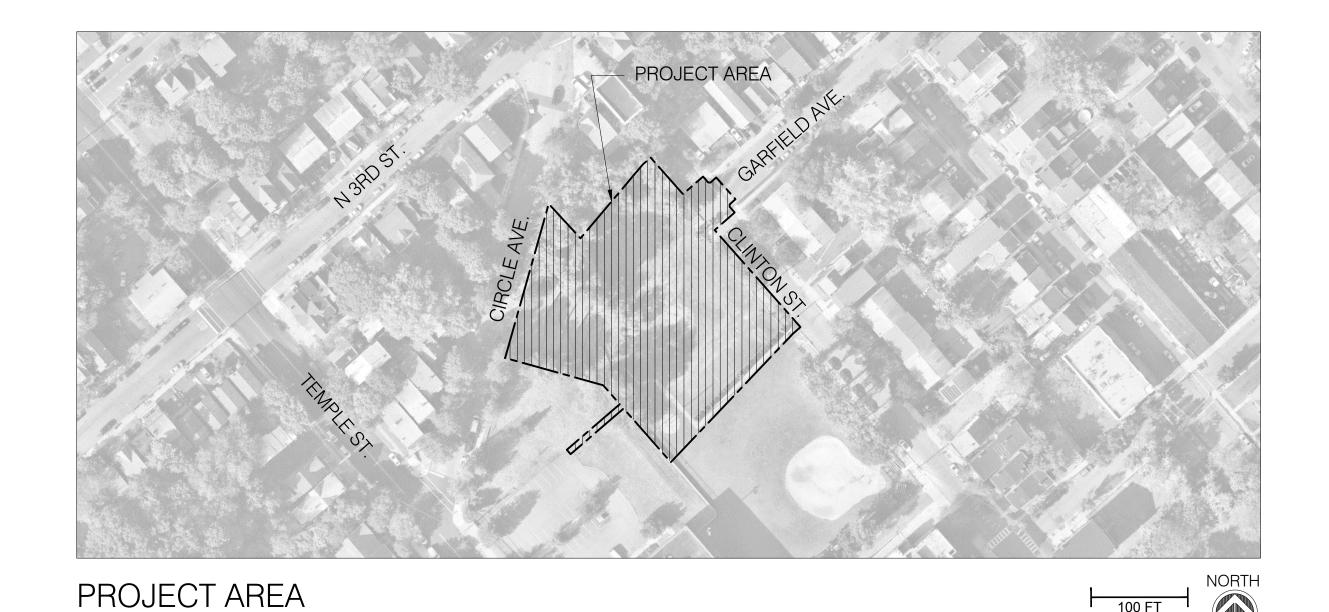
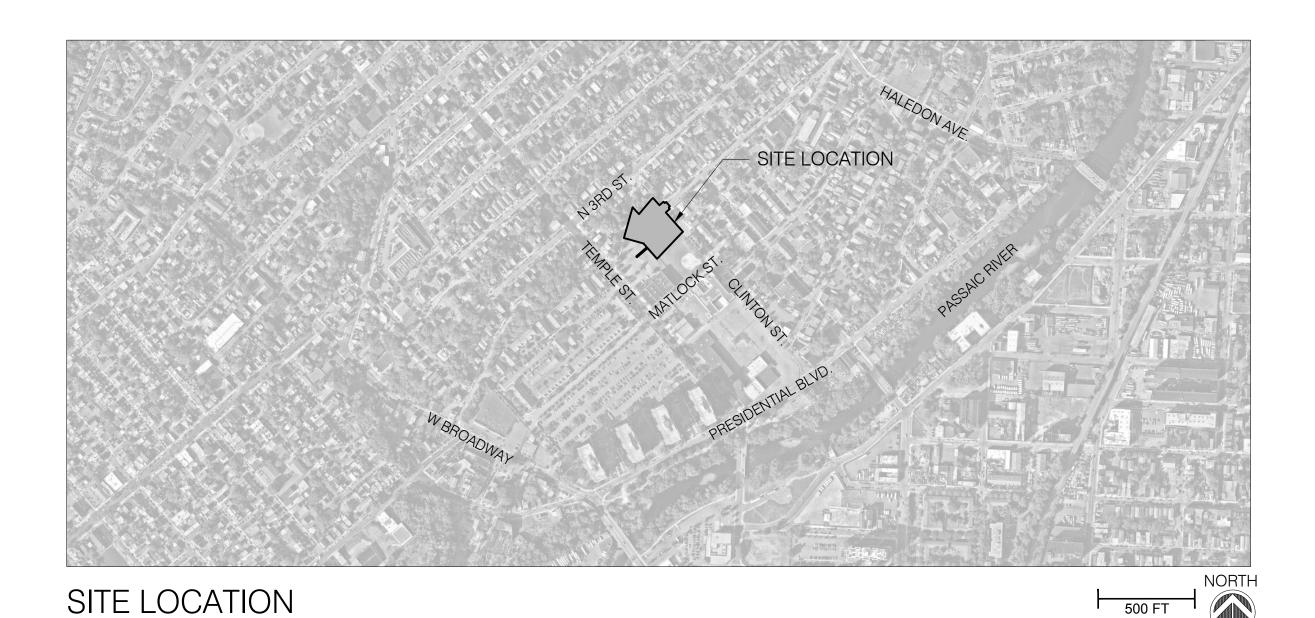
BID DOCUMENTS FOR:

Clinton Street Park

Block: 201, Lot: 2 63-95 Clinton Street, Paterson, NJ 07522 City of Paterson. Passiac County. New Jersey August 24, 2022





* THE CONTRACTOR SHALL CONTACT NJ ONE CALL AT 1-800-272-1000 PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY EXCAVATION WORK.

INDEX OF SHEETS:

SHEET	DESCRIPTION
	COVER SHEET
L-001	QUANTITIES, NOTES & LEGEND
L-002	EXISTING CONDITIONS & SITE CLEARING PLAN
L-003	SOIL EROSION & SEDIMENT CONTROL NOTES
L-004	SOIL EROSION & SEDIMENT CONTROL PLAN
L-101	LAYOUT PLAN
L-102	MATERIALS & FURNISHINGS PLAN
L-103	PLANTING PLAN
L-104	GRADING, DRAINAGE & UTILITY PLAN
L-105	LIGHTING PLAN
L-401	SECTIONS & ENLARGEMENTS
L-402	SECTIONS & ENLARGEMENTS
L-403	RAIN GARDEN ENLARGEMENT
L-404	RAIN GARDEN SECTIONS & DETAILS
L-500	CONSTRUCTION DETAILS
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L-502	CONSTRUCTION DETAILS
L-503	CONSTRUCTION DETAILS
L-504	CONSTRUCTION DETAILS
L-505	CONSTRUCTION DETAILS
L-506	CONSTRUCTION DETAILS

PREPARED BY:

Prime Consultant/Landscape Architect: arterial

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35 Technology Drive Warren, NJ 07059 www.cpasurvey.com Tel 908 668 0099

Civil Engineering:

Control Point Associates, Inc. Chisvette Engineering LLC 320 Lenox Avenue Pompton Lakes, NJ 07442 Tel 973 897 7968

Consultant:

Tel 848 932 5711

Rutgers Cooperative Extension Water Resource Program 14 College Farm Road New Brunswick, NJ 08901

PREPARED FOR:

Paterson Habitat For Humanity 146 North 1st Street Paterson, NJ 07522

Clinton Street Park Paterson, NJ

Bid Documents

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New Jersey Licensed Landscape Architect NJ LLA# AS00851

COVER SHEET L-000 08/24/2022

01 of 21

Chain Link Fence, 8' Height

| Rain Garden Planting

TEM # ITEM NAME UNIT QUANTITY Permit Fees LS LS Mobilization Soil Erosion & Sediment Control Measures LS LS Site Clearing Earthwork LS 1733 Asphalt Paving Concrete Sidewalk, 4" Thick SY 336 | Playground Mulch, 12" Thick CY 239 10 UNIT Table & Chairs EΑ 10 Bench Trash Receptacle EΑ EΑ Bike Rack Light Type A (PSE&G lease program) EΑ Play Equip. - Swing Set EΑ 15 | Play Equip. - Bumble Bee EΑ EΑ 16 | Play Equip. - Lady Bug 17 | Play Equip. - Log Crawl EΑ 18 | Play Equip. - Log Hop EΑ LS 19 | Play Equipment Installation 20 Water Feature LS 500 Meadow Seed Mix 21 22 Clean Inlet EΑ Pipe Video Inspection 24 'E' Inlet EΑ 24 2' Dia. Yard Drain W//Domed Grate EΑ 12" PVC Storm Pipe 50 8" PVC Storm Pipe 75 1 1/2" PE Water Pipe 155 28 329 29 8"x18" Concrete Curb 6"x16" Concrete Curb 79 LS 31 Boulders UNIT Chess Table & Chairs Shade Sail LS 4" Thermoplastic Striping 118 176 | Painted Crosswalk, 24" Striping Shade/ Street Trees. 3"-3.5" CAL.. B&B EΑ 27 Ornamental Trees. 3"-3.5" CAL.. B&B EΑ SY 1139 Top Soil, 5" Thick & Seed (lawn) LS | Slope Stabilization Planting Street Quilt - Community Volunteer Work LS 2450 **Decomposed Granite** SY 34 42 | River Stone, 3-5" SF 63 43 | Concrete Steps Stone Steps 16 Block Wall (use existing block wall material; new cap stone) 140 Metal Edge Panel SF 75 Wood Top Seating Repair Existing Terraced Block Retaining Wall LS 49 Repair Existing Concrete Steps LS Stone Boulders Metal Railing | Decorative Fence, 4' Height 101 Chain Link Fence, 4' Height 74 53

LEGEND

0

286

650

SF

BENCH

TABLE & CHAIRS

CHESS TABLE & CHAIRS

TRASH RECEPTACLE

BIKE RACK

MEADOW MIX

PROTECT EXISTING TREE

REMOVE EXISTING TREE

INLET PROTECTION/ FILTER

TREE

PROPOSED ELEMENTS **EXISTING ELEMENTS** _--241--CONTOUR PROPOSED CONTOUR ₊243.5 × 240.76 SPOT ELEVATION SPOT ELEVATION INLET 3% → SLOPE **EXISTING TREE** LIMIT OF DISTURBANCE CONCRETE PAVEMENT CHAINLINK FENCE PROPERTY LINE ASPHALT PAVING PROTECT EXISTING TRAFFIC **ASPHALT PAVING - PAINTED** DECOMPOSED GRANITE

ABBREVIATIONS TOP OF CURB **BOTTOM OF CURB** TOP OF SLOPE **BOTTOM OF SLOPE** NUMBER N.T.S. NOT TO SCALE DET. DETAIL MAX. MAXIMUM TEMP. TEMPORARY TYP. TYPICAL REFERENCE EQ. EQUAL DIAMETER DRAWING TOP OF WALL **BOTTOM OF WALL** HIGH POINT LOW POINT CENTERLINE LANDSCAPE ARCHITECT F.O.C. FACE OF CURB POINT OF TANGENCY POINT OF CURVATURE LEFT OF STATION LINE

RIGHT OF STATION LINE

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHOWN HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL BE IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2019
- 2. CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULE AT THE PRE-CONSTRUCTION MEETING AND UPDATE ACCORDINGLY THROUGHOUT THE DURATION OF THE PROJECT.
- 3. THE CONTRACTOR SHALL NOTIFY OWNER IN WRITING OF ANY AMBIGUITIES, ERRORS OR OMISSIONS ALONG WITH ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND SPECIFICATIONS BEFORE BIDDING. IN THE EVENT THE CONTRACTOR FAILS TO NOTIFY THE OWNERS IN WRITING OF SUCH AMBIGUITIES. ERRORS OR OMISSIONS ALONG WITH ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE BOUND BY THE OWNERS RESOLUTION AT NO ADDITIONAL COST
- 4. THE INFORMATION SHOWN CONCERNING THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- 5. APPROPRIATE CONSTRUCTION SIGNING SHALL BE INSTALLED FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. SIGNAGE SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL BE BAGGED DURING PERIODS OF INACTIVITY.
- 6. THIS PLAN IS A REPRESENTATION OF DESIGN INTENT ONLY AND AS SUCH DENOTES VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING STRUCTURAL DESIGN, AS WELL AS PLANS AND ELEVATIONS, APPROPRIATE TO ENSURE DESIGN INTENT IS MET.
- 7. THE CONTRACTOR SHALL CONTACT NJ ONE CALL AT 1-800-272-1000 PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY EXCAVATION WORK
- 8. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IN WRITING, PRIOR TO COMMENCING WORK.
- 9. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR CONSTRUCTION FROM THE APPROPRIATE LOCAL, STATE AND FEDERAL AGENCIES.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING OF STORAGE AND STAGING AREAS AT NO ADDITIONAL COST TO THE OWNER. IF THE STAGING AREA IS ON PUBLIC PROPERTY, THE OWNER MAINTAINS THE RIGHT TO HAVE THE CONTRACTOR MOVE EQUIPMENT, MATERIALS, ETC FROM THESE AREAS AT ANY TIME DEEMED NECESSARY AT NO ADDITIONAL COST.
- 11. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO UTILITY BOXES, OIL FILL CAPS, GAS AND WATER VALVES, BILLCO DOORS, ELECTRICAL VAULTS AND ANY OTHER APPURTENANCES WITHIN THE PROPOSED SIDEWALK RECONSTRUCTION AREAS SHALL BE RESET TO CONFORM TO THE PROPOSED FINISHED GRADE AND BE INCLUDED IN THE COST OF THE SIDEWALK.
- 12. IF APPLICABLE, THE CONTRACTOR MUST PROVIDE A PORTABLE RESTROOM UNIT FOR THE DURATION OF THE PROJECT IN A LOCATION APPROVED BY THE OWNER.
- 13. CONTRACTOR IS RESPONSIBLE FOR SURVEYING AND STAKING THE PROPOSED CENTERLINE STATIONING AND ALL PROPOSED ELEMENTS AT NO ADDITIONAL COST TO THE OWNER. THE COST FOR THIS SHOULD BE BUILT INTO THE RELATED ITEMS. CONTRACTOR SHALL PROVIDE CUT SHEETS FOR REVIEW PRIOR TO CONSTRUCTION.
- 14. CONTRACTOR SHALL HAVE LICENSED SURVEYOR RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN SITE FIELD CONDITIONS AND STAKING PLAN PRIOR TO CONSTRUCTION. SHOULD ANY DISCREPANCIES EXIST, THE CONTRACTOR'S SURVEYOR SHALL NOTIFY OWNER PRIOR TO COMMENCEMENT OF WORK. THE OWNER AND CONSULTANT TEAM SHALL HAVE A MINIMUM OF 2 WEEKS UPON NOTIFICATION TO RESOLVE THE DISCREPANCY AND WILL ASSUME NO RESPONSIBILITY FOR WORK PERFORMED PRIOR TO FIELD VERIFICATION OF STAKING PLAN.
- 15. CONTRACTOR SHALL LEAVE THE SITE EACH DAY IN AN ORDERLY FASHION AND SHOULD REMOVE ALL LITTER. REFUSE. DEBRIS AND HAZARDOUS MATERIALS FROM THE SITE DAILY, IN COMPLIANCE WITH APPROPRIATE LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL TAKE MEASURES TO LIMIT THE AMOUNT OF SOIL LEAVING THE SITE ON EQUIPMENT. ANY DEBRIS ON ROAD SURFACES SHOULD BE CLEANED DAILY. IF THIS CLEANING IS NOT PERFORMED TO THE SATISFACTION OF THE OWNER AND CONSULTANT TEAM, IT WILL BE PERFORMED FOR THE CONTRACTOR AT HIS EXPENSE.
- 16. INADDITION, EACH FRIDAY AFTERNOON, AND MORE OFTEN IF NECESSARY, THE CONTRACTOR SHALL PERFORM AN OVERALL CLEANUP OF THE PROJECT, INCLUDING A BROOM CLEANING OF APPROPRIATE SURFACES, STRAIGHTENING OF ANY CONES, FENCING, SIGNAGE ETC. IF THIS CLEANING IS NOT PERFORMED TO THE SATISFACTION OF THE OWNER AND CONSULTANT TEAM, IT WILL BE PERFORMED BY OTHERS AT THE CONTRACTORS EXPENSE.
- 17. CONTRACTOR SHALL BE REQUIRED TO SAFELY SECURE THE SITE THROUGHOUT THE DURATION OF CONSTRUCTION AND FINAL APPROVAL, ALL COSTS ASSOCIATED WITH SECURING THE SITE, INCLUDING TEMPORARY FENCING, SHALL BE INCLUDED IN THE VARIOUS ITEMS ABOVE. ANY DAMAGE OF VANDALISM (SUCH AS FOOTPRINTS/HAND PRINTS IN SIDEWALK, BROKEN AND DAMAGED FURNITURE, ETC.) THAT OCCURS THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND CONSIDERED DUE TO LACK OF SECURED SITE. ALL COSTS ASSOCIATED WITH WORK TO REMEDY THE DAMAGE SHALL BE BORNE BY THE CONTRACTOR.
- 18. ALL DISTURBED SHRUBS, FENCING, SIGNS, MAIL BOXES, DRIVES, ETC. SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS RESTORATION, UNLESS SPECIFIED ELSEWHERE.
- 19. CONTRACTOR IS RESPONSIBLE FOR POWER AND WATER NEEDED DURING CONSTRUCTION
- 20. THE CONTRACTOR SHALL PROVIDE A SCHEDULE AND METHOD FOR THE MAINTENANCE OF PEDESTRIAN CIRCULATION AROUND THE PROJECT SITE. ALL MEASURES ARE TO BE IN ACCORDANCE WITH THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" ALONG WITH ANY LOCAL REGULATIONS/STANDARDS.
- 21. COMPACTED DENSE GRADED AGGREGATE BASE IS INCLUDED IN THE PRICE BID FOR THE OVERLYING ITEMS.
- 22. FINAL GRADING AND EARTHWORK SHALL CONFORM TO THE ENVIRONMENTAL CAPPING PLAN FOR THIS PROJECT. SOIL CAPPING SHALL CONSIST OF CLEAN IMPORTED FILL OR CLEAN IMPORTED TOPSOIL. ON-SITE MATERIAL USED FOR FILL SHALL BE PLACED BENEATH THE FINAL CAPPING MATERIAL.
- 23. ON-SITE TOPSOIL SHALL NOT BE USED FOR FILL BENEATH PROPOSED PAVED AREAS. ON-SITE TOPSOIL MAY BE USED FOR FILL BENEATH LAWN AND PLANTER AREAS.

Clinton Street Park Paterson, NJ

Bid Documents

Paterson Habitat For Humanity

Paterson, NJ 07522 Phone: (973) 595-6868

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David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851	Do	2	_
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Remarks

Issue:

No. Date

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QUANTITIES	S NOTES &
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08/24/2022

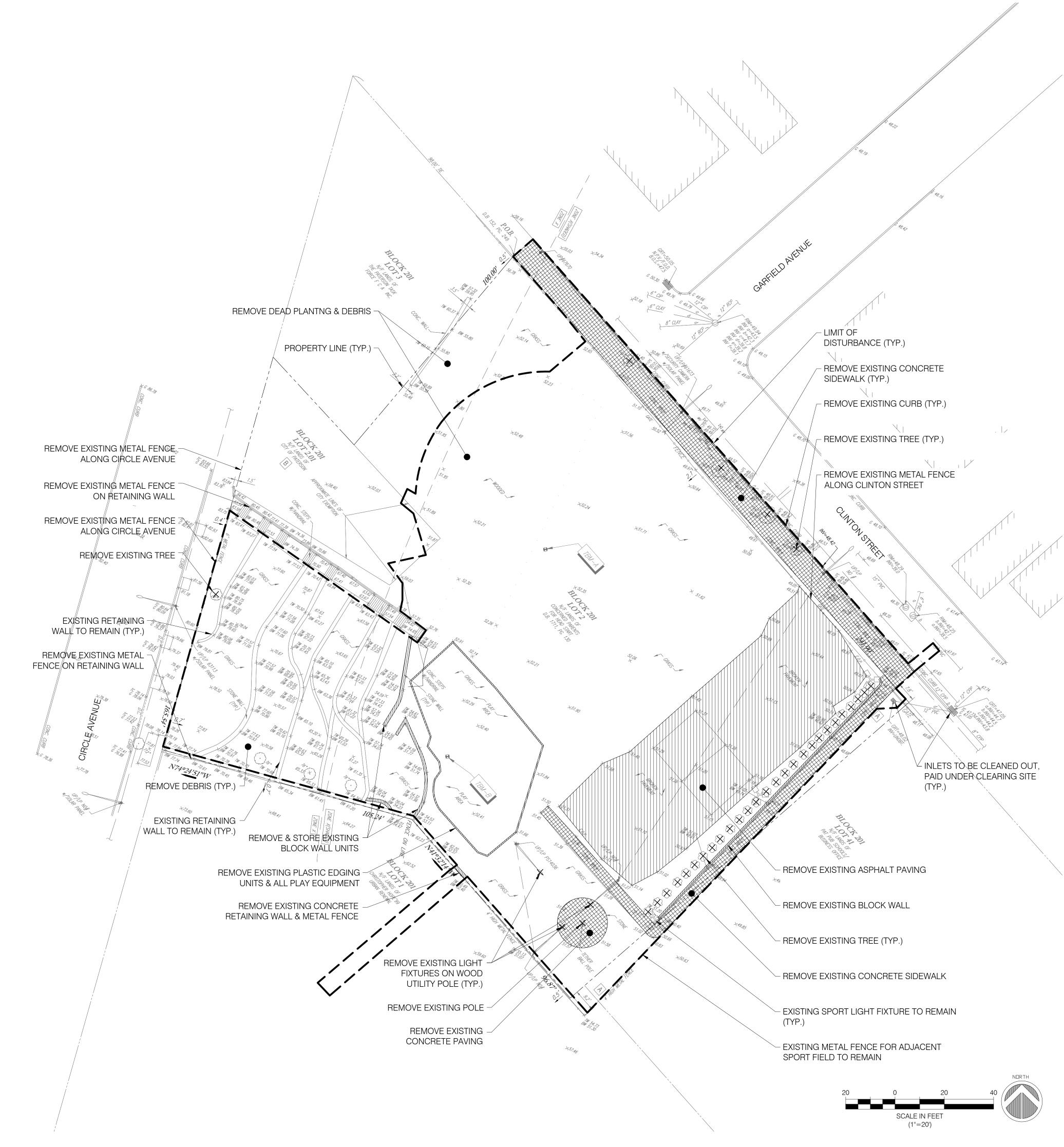
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02 of 21

SITE CLEARING NOTES:

- 1. THE CONTRACTOR SHALL CONTACT NJ ONE CALL AT 1-800-272-1000 PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHALL BE MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY EXCAVATION WORK.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION. IN ADDITION, ALL PROPERTY CORNERS, SURVEY MONUMENTS OR MARKERS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A NEW JERSEY LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- 3. PRIOR TO BIDDING, THE CONTRACTOR SHALL VERIFY WITH THE OWNER THE EXTENT OF REMOVAL OF ALL SITE ELEMENTS.
- 4. ALL UTILITIES EITHER UNKNOWN PRIOR TO CONSTRUCTION AND FOUND DURING DEMOLITION OR NOT CLEARLY SHOWN IN THE CONTRACT DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO THE OWNER PRIOR TO REMOVAL OR RELOCATION. THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY TIME DELAYS OR WORK STOPPAGES ASSOCIATED WITH THIS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION THROUGHOUT THE DURATION OF THE PROJECT WITH THE APPROPRIATE UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, POWER, ETC.) AS IT RELATES TO ANY WORK ASSOCIATED WITH THE PROJECT THIS SHALL INCLUDE, BUT NOT BE LIMITED TO RELOCATION, ABANDONMENT, REPAIR OR ANY OTHER CIRCUMSTANCES INVOLVING THE VARIOUS UTILITIES.
- 6. ALL STREET LIGHTS WITHIN THE PROJECT AREA MAY BE OWNED AND OPERATED BY THE LOCAL UTILITY COMPANY. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY OWNERSHIP AND PROPERLY COORDINATE THE REMOVAL OR PROTECTION OF LIGHTS WITHIN THE PROJECT AREA.
- ANY DAMAGE TO UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL
 COST FOR REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
- 8. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY UNDERGROUND FUEL TANKS DISCOVERED DURING CONSTRUCTION. THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY TIME DELAYS OR WORK STOPPAGES ASSOCIATED WITH FUEL TANK MITIGATION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ANY EXCESS MATERIALS EXCAVATED OF WHATEVER NATURE, INCLUDING, BUT NOT LIMITED TO REGULATED, UNREGULATED OR HAZARDOUS MATERIALS IN A LEGAL MANNER AT THEIR OWN EXPENSE. THE OWNER IS NOT OBLIGATED TO SUPPLY A DISPOSAL SITE.
- 10. ALL SIDEWALKS, CURBS, WALLS, PAVEMENT, FLATWORK AND MISCELLANEOUS DEBRIS SHALL BE REMOVED FROM THE SITE AND BECOME THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.
- 11. CLEARING SITE SHALL INCLUDE BUT NOT LIMITED TO REMOVAL AND PROPER DISPOSAL OF EXISTING GAZEBO, CURBS, SIDEWALKS, SLABS, CONCRETE, CONCRETE UNDER ROADBED, ASPHALT AND GRAVEL, VEGETATION INCLUDING TREE STUMPS, FENCES, FOOTINGS, AND PLANTERS AS INDICATED OR AS DIRECTED BY OWNER IN THE FIELD. THIS SHALL ALSO INCLUDE THE PROTECTION AND RESETTING OF ALL SIGNS, SIGN POSTS, UTILITY LINES, UTILITY COVERS AND CLEAN OUTS AS DENOTED ON THE PLANS OR DIRECTED BY THE OWNER.
- 12. THE CONTRACTOR SHALL EXERCISE CARE DURING EXCAVATION OPERATIONS TO AVOID DISTURBING ADJACENT FACILITIES, SUB GRADE STRUCTURES AND TREES. ALL DAMAGE RESULTING FROM THE CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER. ALL REPAIR WORK SHALL BE TO THE SATISFACTION OF THE OWNER. PLANTED AREAS DISTURBED BY THIS WORK SHALL BE RESTORED AS DIRECTED BY THE OWNER.
- 13. THE CONTRACTOR SHALL USE ALL NECESSARY PRECAUTIONS WHEN REMOVING CONCRETE ALONG BUILDING FACADES AS TO NOT DISTURB OR DAMAGE THE EXISTING FAÇADE, ADJACENT FACILITIES OR SUB GRADE STRUCTURES. THE CONTRACTOR HAS THE OPTION, IF APPROVED BY THE OWNER, TO SAWCUT UP TO 6" FROM THE EXISTING FAÇADE AS NEEDED TO AVOID DAMAGE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR IS RESPONSIBLE TO REPAIR ANDY AND ALL DAMAGES TO BUILDINGS, BUILDING FACADES OR VAULTS THAT RESULT FROM THE REMOVAL OR CONSTRUCTION ASSOCIATED WITH THIS PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, LOCATING AND PROTECTING ALL BASEMENT VAULTS.
- 15. CONTRACTOR SHALL REMOVE ALL TREES, SHRUBS AND VEGETATION WITHIN THE PROJECT AREA UNLESS OTHERWISE NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL PROPERLY PROTECT ALL TREES AND LANDCAPE AS NOTED ON THE DRAWINGS TO REMAIN AS DETAILED FURTHER IN THE SPECIFICATIONS.
- 16. CONTRACTOR SHALL TAKE CARE TO PROTECT FROM CONSTRUCTION ALL EXISTING TREES, STRUCTURES UNDER/ABOVE GROUND SURFACE THAT ARE TO REMAIN. ANY DAMAGE DONE TO THESE DURING CONSTRUCTION MUST BE REPLACED AT CONTRACTOR'S OWN COST WITHIN THE CONSTRUCTION PERIOD.
- 17. CONTRACTOR SHALL MEET ON SITE WITH A CERTIFIED ARBORIST AND THE OWNERS REPRESENTATIVE TO VERIFY THE RELOCATION OR REMOVAL OF ANY UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CONCRETE AND ASPHALT ROADS AND WALKS WITHIN TREE PRESERVATION AREAS PRIOR TO ANY LAND DISTURBANCE.
- 18. ALL CONSTRUCTION DRIVEWAYS SHALL BE STABILIZED WITH A GRAVEL TRACKING BED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL PLAN.
- 19. CONSTRUCTION FENCING IS TO BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE FENCE DURING THE DURATION OF THIS CONTRACT.



Clinton Street Park Paterson, NJ

Bid Documents

Client:

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David I. Lustberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

Issue: No. Date

Date Remarks

EXISTING CONDITIONS & SITE

CLEARING PLAN

Drawn By:

VH

Checked By:

JR 08/24/2022 1" = 20'-0"

03 of 21

02-2019-127.1

1ES/01-PROJECTS/02-20

HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT (HEPSCD) SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL", 7TH EDITION LAST REVISED JANUARY 2014. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- 2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- 3. <u>SEEDING DATES:</u> THE FOLLOWING SEEDING DATES ARE BEST RECOMMENDED TO ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: <u>SPRING 3/1-5/15</u> AND <u>FALL 8/15-10/1</u>.
- 4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- 5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- 6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- 7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- 8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX: (862) 333-4507 OR EMAIL: INFORMATION@HEPSCD.ORG.
- 9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ-DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- 10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- 11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED.
- 12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- 13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 1"-2½" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- 14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- 15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

CONSTRUCTION SEQUENCE

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS:

	PHASE	DURATI
1.	INSTALL PROTECTIVE FENCING AROUND EXISTING TREES	1 WEEK
2.	INSTALL CONSTRUCTION ENTRANCE, SILT FENCE AND INLET FILTERS	2 DAYS
3.	DEMOLITION, SITE CLEARING AND ROUGH GRADING	4 WEEKS
4.	CONSTRUCT/INSTALL SITE IMPROVEMENTS (DRAINAGE, WALLS, WALKS, ETC.)	6 WEEKS
5.	CONSTRUCT/INSTALL PLAYGROUND AREA, BENCHES, ETC.	8 WEEKS
6.	STABILIZE LAWN AREAS AND INSTALL PLANTINGS	1 WEEK
7.	REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES	2 DAYS
	PROJECT DURATION	5 MONTH

THE ABOVE SCHEDULE IS FOR THE IMPLEMENTATION AND INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES ONLY.

SOIL COMPACTION REMEDIATION:

THIS PROJECT DOES NOT REQUIRE SOIL COMPACTION REMEDIATION PER SECTION 19 OF THE N.J. SOIL EROSION & SEDIMENT CONTROL STANDARDS DUE TO THE FOLLOWING:

1. THE PROJECT IS SITUATED IN AN URBAN REDEVELOPMENT AREA, AS THE SITE IS IN THE METROPOLITAN PLANNING AREA (PA-1) AND WAS PREVIOUSLY DEVELOPED.

SPPP REQUIRED INSPECTIONS AND REPORTS

1. ROUTINE INSPECTIONS

A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT ROUTINE INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED UNDER e.1 OF THE 5G3-CONSTRUCTION ACTIVITY STORMWATER (GP) PART 1 NARRATIVE REQUIREMENTS, INCLUDING THIS SOIL EROSION AND SEDIMENT CONTROL PLAN IS BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL MEASURES ARE NEEDED TO IMPLEMENT THE SPPP. (ROUTINE INSPECTIONS MINIMUM WEEKLY).

HIGH ACID PRODUCING SOILS WITH A pH OF 4 OR LESS, OR CONTAINING IRON SULFIDE, (INCLUDING BORROW FROM CUTS) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT A RATE OF 6 TONS PER ACRE (OR 275 POUNDS PER 1.000 SOUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF

SETTLED SOIL WITH A pH OF 5 OR MORE EXCEPT AS FOLLOWS:

HIGH ACID PRODUCING SOILS WITH A pH OF 4 OR LESS, OR CONTAINING IRON SULFIDE,
(INCLUDING BORROW FROM CUTS) SHALL BE ULTIMATELY PLACED OR BURIED WITH
LIMESTONE APPLIED AT A RATE OF 6 TONS PER ACRE (OR 275 POUNDS PER 1.000
SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF
SETTLED SOIL WITH A pH OF 5 OR MORE EXCEPT AS FOLLOWS:

OTHER RECORD-KEEPING REQUIREMENTS

THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:

- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE GRADED

- DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CONTROLS

- DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA

- DATES WHEN AN AREA IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY

- DATES OF RAINFALL AND THE AMOUNT OF RAINFALL

- DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF ANY SPILLS OF HAZARDOUS MATERIALS

RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES
 OF HAZARDOUS MATERIALS SPILLED
 A VISIBLE SIGN SHALL BE POSTED ON THE SITE TO IDENTIFY THE LOCATION OF SPPP

ANNUAL REPORTS AND CERTIFICATIONS.

A. THE PERMITTEE SHALL PREPARE AN ANNUAL REPORT SUMMARIZING EACH INSPECTION PERFORMED UNDER 1.A., ABOVE. THIS REPORT SHALL BE ACCOMPANIED BY AN ANNUAL CERTIFICATION, ON A FORM PROVIDED BY THE NJDEP THAT THE FACILITY IS IN COMPLIANCE WITH ITS SPPP AND THIS PERMIT, EXCEPT THAT IF THERE ARE ANY INCIDENTS OF NONCOMPLIANCE, THOSE INCIDENTS SHALL BE IDENTIFIED IN THE CERTIFICATION. IF THERE ARE INCIDENTS OF NONCOMPLIANCE, THE REPORT SHALL IDENTIFY THE STEPS BEING TAKEN TO REMEDY THE NONCOMPLIANCE AND TO PREVENT SUCH INCIDENTS FROM RECURRING. THE REPORT AND CERTIFICATION SHALL BE SIGNED AND DATED BY THE PERMITTEE IN ACCORDANCE WITH N.J.A.C. 7:14A-4.9. AND SHALL BE MAINTAINED FOR A PERIOD OF AT LEAST FIVE YEARS ALONG WITH COPIES OF ALL INSPECTION REPORTS AND RECORD KEEPING. THIS PERIOD MAY BE EXTENDED BY WRITTEN REQUEST FROM THE DEPARTMENT AT ANY TIME (SEE N.J.A.C. 7:14A-6.6)

REPORTS OF NONCOMPLIANCE

A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:140A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY.

NOTIFICATION OF COMPLETION

- A. THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 2:90-1 FOR COMPLETED CONSTRUCTION ACTIVITIES, EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW. THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION.
- B. THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF "PROJECT" AT N.J.S.A. 4:24-41G, SHALL SEND A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINAL CERTIFICATION OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.
- C. THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED.

MITIGATION NOTES FOR ACIDIC SOIL

- LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH ACID PRODUCING SOILS
 ARE ENCOUNTERED.
- 2. TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.
- STOCKPILED HIGH ACID PRODUCING SOILS.
 STOCKPILES OF HIGH ACID PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.
- 4. TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOIL MATERIAL TO BE EXPOSED MORE THAN 30 DAYS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE. SILT FENCE SHALL BE INSTALLED AT THE TOE OF SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID PRODUCING SOIL.
- 5. HIGH ACID PRODUCING SOILS WITH A pH OF 4 OR LESS, OR CONTAINING IRON SULFIDE, (INCLUDING BORROW FROM CUTS) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT A RATE OF 6 TONS PER ACRE (OR 275 POUNDS PER 1.000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5 OR MORE EXCEPT AS FOLLOWS:
- A. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A pH OF 5 OR MORE.
- B. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BERMS, STREAM BANKS, DITCHES AND OTHERS TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.
- 6. EQUIPMENT USED FOR MOVEMENT OF HIGH ACID PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY TO PREVENT SPREADING OF HIGH ACID SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES AND TO PROTECT MACHINERY FROM ACCEL FRATED BLISTING
- 7. NON VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SILT FENCE, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID PRODUCING SOILS FROM, AROUND OR OFF THE SITE.
- 8. FOLLOWING BURIAL OR REMOVAL OF HIGH ACID PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE, (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1 AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW LATEST EDITION). MONITORING SHOULD CONTINUE FOR APPROXIMATELY 6 TO 12 MONTHS TO ASSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.
- 9. MONITORING OF AREAS WHERE HIGH ACID PRODUCING SOIL HAS BEEN PLACED OR BURIED SHOULD BE PERFORMED FOR AT LEAST 2 YEARS OR LONGER IF PROBLEMS OCCUR, TO ASSURE THERE IS NO MIGRATION OF POTENTIAL ACIDE LEACHATE.

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

(THIS IS FOR CONSTRUCTION WASTE ONLY)

1. THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF THE REQUIREMENT IN 2., 3., AND 4. BELOW. THESE REQUIREMENTS BECOME OPERATIVE ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004. ANY NEW CONSTRUCTION ACTIVITY FOR WHICH AN RFA IS SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH WILL RECEIVE AUTOMATIC RENEWAL OR AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH THESE REQUIREMENTS.

- 2. MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA. MANUFACTURERS' RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT (THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURERS' RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPP.)
- WASTE HANDLING THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE HANDLING AT THE CONSTRUCTION SITE OF WASTE BUILDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE WASTES, INCLUDING LITTER AND HAZARDOUS AND SANITARY WASTES, SHALL CONFORM WITH THE STATE SOLID WASTE MANAGEMENT ACT, N.J.S.A. 13:1E- ET SEQ., AND ITS IMPLEMENTING RULES AT N.J.A.C. 7:26, 7:26A, AND 7:26G, THE NEW JERSEY PESTICIDE CONTROL CODE AT N.J.A.C. 7:30, THE STATE LITTER STATUTE N.J.S.A. 13:1e-99.3); AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R., 1926 (EXCEPT WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE. WASTE SHALL BE COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY.

A. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:

- I. "CONSTRUCTION AND DEMOLITION WASTE", AS DEFINED IN N.J.A.C. 7:7:26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION, REMODELING, REPAIR, AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THE FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP; TREE PARTS, TREE STUMPS AND BRUSH; CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY; PLASTER AND WALLBOARD; ROOFING MATERIALS; CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL; NON-ASBESTOS BUILDING INSULATION; PLASTIC SCRAP; DIRT; CARPETS AND PADDING, GLASS (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES."
- II. ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C 7:26G (THE HAZARDOUS WASTE RULES).
- III. DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBLASTING GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G. CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS.
- IV. OTHER "LITTER" AS DEFINED AT N.J.S.A. 13:1E-215.D AS FOLLOWS: "ANY USED OR UNCONSUMED SUBSTANCE OR WASTE MATERIAL WHICH HAS BEEN DISCARDED WHETHER MADE OF ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF, INCLUDING, BUT NOT LIMITED TO, ANY BOTTLE, JAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, JAR OR CAN, ANY UNLIGHTED CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL OR ANY GARBAGE, TRASH, REFUSE, DEBRIS, RUBBISH, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, CLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINOR OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLING, FARMING OR MANUFACTURING."
- V. SANITARY SEWAGE AND SEPTAGE.
- VI. CONTAMINATED SOILS ENCOUNTERED OR DISCOVERED DURING EARTHMOVING ACTIVITIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS SUBSTANCE.
- B. CONCRETE TRUCK WASHOUT CONCRETE TRUCK WASHOUT ONSITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUND WATER. HARDENED CONCRETE FROM CONCRETE TRUCK WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF.
- SANITARY SEWAGE/SEPTAGE DISPOSAL DISCHARGES OF RAW SANITARY SEWAGE OR SEPTAGE ONSITE ARE STRICTLY PROHIBITED. ADEQUATE FACILITIES WITH PROPER DISPOSAL SHALL BE PROVIDED AND MAINTAINED ONSITE OR ADJACENT TO THE SITE FOR ALL WORKERS AND OTHER SANITARY NEEDS.

SPILLS: DISCHARGE OF HAZARDOUS SUBSTANCES,

- A. SPILL KITS SHALL BE AVAILABLE ONSITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2 ABOVE AND USED OR APPLIED ONSITE. ALL SPILLS OF SUCH MATERIAL SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. CLEANED UP MATERIALS SHALL BE PROPERLY DISPOSED OF.
- B. DISCHARGES OF HAZARDOUS SUBSTANCES (AS DEFINED IN N.J.A..C. 7:1E-1.6) IN CONSTRUCTION SITE WASTES ARE SUBJECT TO THE PROVISIONS OF THE SPILL COMPENSATION AND CONTROL ACT, NJAC 58:10-23.11 ET SEQ., AND OF DEPARTMENT RULES FOR DISCHARGE OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT NJAC 7:1E. NO DISCHARGE OF HAZARDOUS SUBSTANCES RESULTING FROM AN ONSITE SPILL SHALL BE DEEMED TO BE "PURSUANT TO AND IN COMPLIANCE WITH (THIS) PERMIT" WITHIN THE MEANS OF THE SPILL COMPENSATION AND CONTROL ACT AT NJSA 58:10-2311C.
- C. RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 110, 117 AND 302 THAT OCCUR WITHIN A 24-HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800-424-8802)

STABILIZATION WITH MULCH ONLY

DEFINITION
STABILIZING EXPOSED SOILS WITH NON-VEGETATIVE MATERIALS.

S WITH NON-VEGETATIVE MATERIALS.

TO PROTECT EXPOSED SOIL SURFACES FROM EROSION DAMAGE AND TO REDUCE OFFSITE ENVIRONMENTAL DAMAGE.

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO EROSION, WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION-RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM

METHODS AND MATERIALS

- I. SITE PREPARATION
- A. GRADE, AS NEEDED AND FEASIBLE, TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR APPLYING AND ANCHORING MULCH ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING, PAGE 19.1.
- B. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS AND WATERWAYS. SEE STANDARDS 11 THROUGH 42
- II. PROTECTIVE MATERIALS
- A. UNROTTED SMALL-GRAIN STRAW, HAY OR SALT HAY AT 2.0 TO 2.5
 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER
 1000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING
 TOOL, LIQUID MULCH BINDERS OR NETTING TIEDOWN. OTHER SUITABLE
 MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION
 DISTRICT
- B. ASPHALT EMULSION OR CUTBACK ASPHALT IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALLONS PER ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS OR MACHINES IS NOT A PROBLEM.
- C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
- D. WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1,500 POUNDS
 PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHING.
- PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHING

 E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON OR
 PLASTIC, MAY BE USED.
- F. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED.
- G. GRAVEL, CRUSHED STONE OR SLAG AT THE RATE OF 9 CUBIC YARDS
 PER 1000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3
 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.

 III. MULCH ANCHORING
- A. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING
- UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.

 B. PEG AND TWINE DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKESMAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- C. MULCH NETTINGS STAPLE PAPER, COTTON, OR PLASTIC NETTINGS
 OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS
 TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE
 AND UP TO 300 FEET LONG.
 D. MULCH ANCHORING TOOL A TRACTOR-DRAWN IMPLEMENT ESPECIALLY
- D. MULCH ANCHORING TOOL A TRACTOR-DRAWN IMPLEMENT ESPECIALLY
 DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE.
 THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS
 LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE
 SAFELY. TOOL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON
 SLOPING LAND, THE OPERATION SHOULD BE DONE ON THE CONTOUR.
- E. LIQUID MULCH-BINDERS
 1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND
 CATCHES THE MULCH. IN VALLEYS AND AT CRESTS OF BANKS
- 2. USE OF ONE OF THE FOLLOWING:

 a EMULSIFIED ASPHALT (SS-1, CSS-1, CMS-2, MS-2, MS-2).
- a EMULSIFIED ASPHALT (SS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1 AND CRS-2).

 APPLY 0.04 GAI /SQ YD. OR 194 GAI /ACRE ON FLAT

REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

SLOPES 8 FEET OR MORE HIGH USE 0.075 GAL/SQ. YD.
OR 363 GAL/ACRE.

DORGANIC AND VEGETABLE BASED BINDERS - NATURALLY
OCCURRING, POWDER BASED, HYDROPHIC MATERIALS.

SLOPES AND SLOPES LESS THAN 8 FEET HIGH. ON

- OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS.
 VEGETABLE BASED GELS SHALL BE APPLIED
 AT RATES AND WEATHER CONDITIONS RECOMMENDED
 BY THE MANUFACTURER.

 C SYNTHETIC OR ORGANIC BINDERS BINDERS SUCH AS
 CURASOL, DCA-70, PETRO-SET AND TERRA-TACK MAY
- BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. NOTE:

 ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

STANDARD FOR STORM SEWER INLET PROTECTION

DEFINITION

A TEMPORARY BARRIER AND SETTLING FACILITY INSTALLED AT A

PURPOSE

THE PURPOSE OF STORM SEWER INLET PROTECTION IS TO INTERCEPT AND RETAIN SEDIMENT, THUS PREVENTING THE ENTRANCE OF SEDIMENT INTO THE STORM SEWER SYSTEM.

CONDITIONS WHERE PRACTICE APPLIES CONTRIBUTING DRAINAGE AREA IS 3 ACRES OR LESS.

A STORM SEWER OR THE OUTLET CHANNEL OF A STORM SEWER NEEDS PROTECTION FROM SEDIMENT.

TRAFFIC WILL NOT DESTROY OR CAUSE CONSTANT MAINTENANCE OF THE STORM SEWER INLET PROTECTION.

A TRAFFIC HAZARD WILL NOT BE CREATED.

A FLOODING PROBLEM WILL NOT BE CREATED. WATER QUALITY ENHANCEMENT

THE PRIMARY BENEFIT TO WATER QUALITY IS REMOVAL OF SEDIMENT FROM STORMWATER RUNOFF PRIOR TO ENTERING THE STORM SEWER SYSTEM. AS AN ADDED BENEFIT, OTHER FLOATABLE DEBRIS, SUCH AS VEGETATIVE MATTER AND LITTER MAY ALSO BE FILTERED OUT OF THE RUNOFF.

DESIGN CRITERIA

THE FOLLOWING APPLIES TO ALL METHODS OF STORM SEWER

MUST SLOW THE STORM WATER, PROVIDE THE COARSE SEDIMENT PARTICLES A CHANCE TO SETTLE, AND PROVIDE AN AREA TO RETAIN THE PARTICLES THAT HAVE SETTLED.

IN ALL CASES, THE INLET PROTECTION SHOULD NOT COMPLETELY

THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE

OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL

INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD

SEEDING SPECIFICATIONS

TEMPORARY SEEDING

TEMPORARY VEGETATIVE COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1.0 POUND PER 1,000 SQ. FT. (40 lbs/Ac.), IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.

LIMESTONE (PULVERIZED DOLOMITIC EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) SHALL BE APPLIED AT THE RATE OF 45 lbs/1,000 SQ. FT. (1 TON/Ac.) IN ACCORDANCE WITH TABLE 7-1, PAGE 7.2.

FERTILIZER (10-20-10 OR EQUIVALENT) AT THE RATE OF 11 lbs/1,000 SQ. FT. (500 lbs./Ac.) OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN, IN ACCORDANCE WITH PARAGRAPH 2A, PAGE 7-1.

MULCHING IS REQUIRED ON ALL SEEDING AND SHALL BE ACCOMPLISHED AS FOLLOWS:

- MULCH MATERIALS SHOULD BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT A RATE OF 1-1/2 TO 2 TONS PER ACRE, OR 70 TO 90 POUNDS PER 1,000 SQUARE FOOT. MULCH BLOWERS SHOULD NOT GRIND OR CHOP THE MATERIAL.
- 2. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85 PERCENT OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FOOT SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- 3. MULCH ANCHORING SHALL BE ACCOMPLISHED USING EITHER PEG AND TWINE, MULCH NETTING, MULCH-ANCHORING COULTER TOOL OR LIQUID MULCH-BINDERS, PER THE ACCOMPANYING "STABILIZATION WITH MULCH ONLY" SPECIFICATION.

* OPTIMUM SEEDING DATES: 3/1 - 5/15 AND 8/15 - 10/1

SEED MIXTURE

SEEDING SPECIFICATION.

PERMANENT SEEDING

 TOPSOIL TO BE PLACED TO A DEPTH OF 4 INCHES ON EXPOSED SOILS UPON COMPLETION OF FINAL GRADING.

2. SEED IS TO BE UNIFORMLY APPLIED TO THE NORMAL DEPTH OF 1/4 INCH TO 1/2 INCH (EXCEPT HYDRO SEEDING).ZONE 6b SEED MIXTURE 17, AS SHOWN ON PAGE 4-12 IN THE SOIL EROSION STANDARDS. THE SEEDING RATE SHALL BE:

PLANTING RATE

LBS PER

ACRE

120

HARD FESCUE
CREEPING FESCUE
PERENIAL RYEGRASS

* OPTIMAL SEEDING DATES: 3/1 - 4/30 AND 8/15 - 10/15

3. MULCHING WILL BE ACCOMPLISHED PER THE BELOW TEMPORARY

*MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS

ADEQUATE OR SOIL CAN BE IRRIGATED.

SOIL PREPARATION

SUITABLE EQUIPMENT WILL BE USED TO PREPARE A REASONABLE, UNIFORM, FINE SEED BED TO A MINIMUM DEPTH OF 4 INCHES.

APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIME SHALL BE PULVERIZED DOLOMITIC LIMESTONE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES. THE FOLLOWING TABLE IS A GENERAL GUIDELINE FOR LIMESTONE APPLICATION RATES:

SOIL TEXTURE	TONS/ACRE	LBS./1000 SQ. FT.
CLAY, CLAY LOAM, & HIGHLY ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45

WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.

DUST CONTROL NOTE

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE.

WATER DILUTION	TYPE DF NDZZLE
7:1	CDARSE SPRAY
12.5:1	FINE SPRAY
4:1	FINE SPRAY
also be used as a	o manufacturer's instructions. May in additive to sediment basins to ecipiate suspended colloids. See andard, p. 26-1
NDNE	CDARSE SPRAY

ADDITIONAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.

THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.

IMMEDIATELY, OR AT MINIMUM, BY THE END OF EACH WORK DAY.

ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES.

ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP

APPLY TO ANY SUBSEQUENT OWNERS.

STEEP SLOPES TO RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES & NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.)

CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE

HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT.

A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE

CONFIRMATION OF LIME. FERTILIZER AND APPLICATION RATES AT THE REQUEST OF THE

MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.

MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION

ALL SOIL EROSION AND SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.

THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL

STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL

ALL CATCH BASIN INLETS WILL BE PROTECTED DURING CONSTRUCTION (SEE DETAILS ON SHEET L-104).

Paterson, NJ

CLINTON STREET PARK

BID DOCUMENTS

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Mark Chisvette 8/24/2

Issue:
No. Date Remarks

Sheet Title:

SOIL EROSION AND SEDIMENT

CONTROL NOTES

Drawn By:

VH

Checked By:

MC

Date:

08/24/2022

Scale:

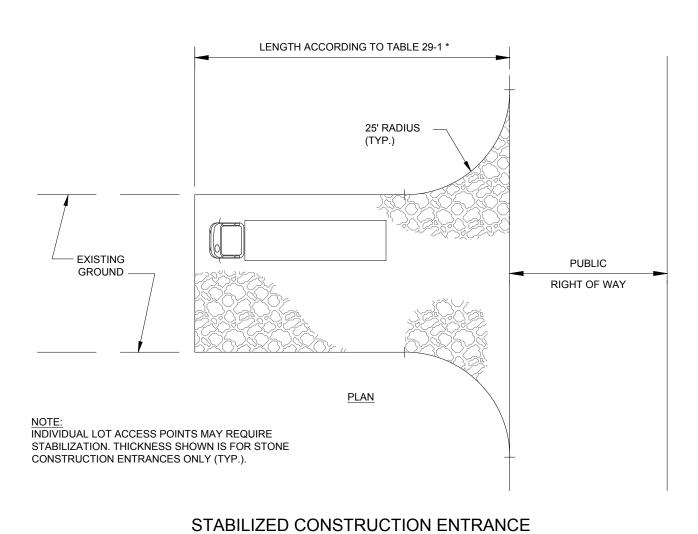
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Project Number:

Sheet:

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02-2019-127



N.T.S.

EXISTING TREE PROTECTION DURING AND AFTER CONSTRUCTION

- 1. THE CONTRACTOR IS RESPONSIBLE TO HIRE A CERTIFIED ARBORIST (CA), CERTIFIED TREE EXPERT (CTE) OR CERTIFIED FORESTER (CF) TO OVERSEE ALL CONSTRUCTION WITHIN THE DRIP LINE OF ANY TREES OVER 12" CALIPER THAT ARE INDICATED TO REQUIRE "TREE PROTECTION" ON THE CONSTRUCTION PLAN. THE CTE SHALL REPORT TO THE COUNTY REPRESENTATIVE (CTE, CF, CA) AND SHALL OVERSEE ALL WORK TO ENSURE IT IS IN COMPLIANCE WITH THIS SECTION OF THE SPECIFICATIONS AND WITH INDUSTRY STANDARD BEST PRACTICES FOR TREE PROTECTION.
- 2. ALL TREES TO REMAIN SHALL BE PROTECTED IN ACCORDANCE WITH ANSI A300.
- THE CTE SHALL ESTABLISH A PRE- AND POST- CONSTRUCTION FERTILIZATION AND TREE CARE PLAN AND SCHEDULE THAT WILL ENSURE THE LONG TERM HEALTH OF THE TREES. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, FERTILIZATION, DEEP ROOT FEEDING AND FERTILIZING, TREE AND ROOT PRUNING, STABILIZATION TESTING ETC. THESE REQUIREMENTS SHALL BE SUBMITTED TO THE COUNTY FOR APPROVAL PRIOR
- 4. A PROTECTIVE BARRIER OF CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIP LINE OF PROTECTED TREE(S). THE FENCING CAN BE MOVED WITHIN THE DRIP LINE IF AUTHORIZED BY THE ARBORIST BUT NO CLOSER THAN 2' FROM THE TRUNK OF ANY TREE. THIS ENCLOSED AREA (CONFIRMED BY THE ARBORIST) IS THE TREE PROTECTIONS ZONE (TPZ).
- DEMOLITION, EXCAVATION AND CONSTRUCTION WITHIN THE TPZ SHALL BE BY HAND OR USING COMPRESSED AIR. THIS INCLUDES ALL SIDEWALK, ASPHALT AND CURB REMOVAL. MACHINE DEMOLITION, EXCAVATION AND DIGGING IS NOT PERMITTED WITHIN THE TPZ. EXCEPTIONS TO THIS MAY BE SUBMITTED BY THE CONTRACTOR'S CTE TO THE COUNTY FOR REVIEW. IF THE CONTRACTOR MUST DIG OR EXCAVATE AROUND MATURE TREES, AIR TOOLS SHALL BE USED TO EXPOSE TREE ROOTS SO THE ROOTS CAN BE SEEN AND WORKED AROUND SAFELY TO AVOID DAMAGE.
- WHEN ROOTS OVER 1" IN DIAMETER ARE ENCOUNTERED, EITHER INSIDE OR OUTSIDE OF THE TPZ, THE ARBORIST SHALL BE NOTIFIED AND THE ROOTS SHALL BE HAND TRIMMED, MAKING CLEAR, CLEAN CUTS THROUGH THE ROOTS. TRENCHES OR CUTS THAT EXPOSE ROOTS SHALL BE FILLED WITHIN 24 HOURS, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREES SHALL BE KEPT SHADED WITH FOUR LAYERS OF DAMPENED, UNTREATED BURLAP, WETTED AS FREQUENTLY AS NECESSARY TO KEEP THE BURLAP WET. ANY EXPOSED FEEDER ROOTS AND PERENNIAL ROOTS SHOULD BE COVERED IN SOIL AND WET WRAPS TO KEEP MYCORRHIZAE COLONIES ALIVE. ANY WORK WITHIN THE TPZ THAT REQUIRES MACHINERY SHALL BE LIMITED TO A MINI EXCAVATOR OR SMALL TRACTOR MOUNTED BACKHOE AS APPROVED BY THE CTE AND CITY.
- 7. TRUCKS AND HEAVY MACHINERY SHALL NOT BE PERMITTED TO PARK OR TRAVEL WITHIN THE TPZ.

DESIGN CRITERIA

STONE SIZE - USE ASTM C-33, SIZE No. 2 (2 1/2 TO 1 1/2") OR 3 (2 to 1"). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE.

THICKNESS-NOT LESS THAN SIX (6) INCHES WITH FILTER FABRIC.

WIDTH-NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.

LENGTH- 100 FEET MIN. THESE LENGTHS MAY BE INCREASED WHERE FIELD CONDITIONS DICTATED. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD. WHERE THE SLOPE OF THE ACCESS ROAD EXCEED 5%, A STABILIZED BASE COURSE OF FINE AGGREGATE BITUMINOUS CONCRETE (FABC) SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE FABC AND USE OF A DENSE GRADE AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR OTHER GOVERNING AUTHORITY. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ACCESS.

TABLE OF LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

	LENGTH OF STONE R	EQUIRED
PERCENT SLOPE OF ROADWAY	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 ft.	100ft.
2 TO 5%	100ft.	200ft.
> 5%	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE (NOTE 1)	

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

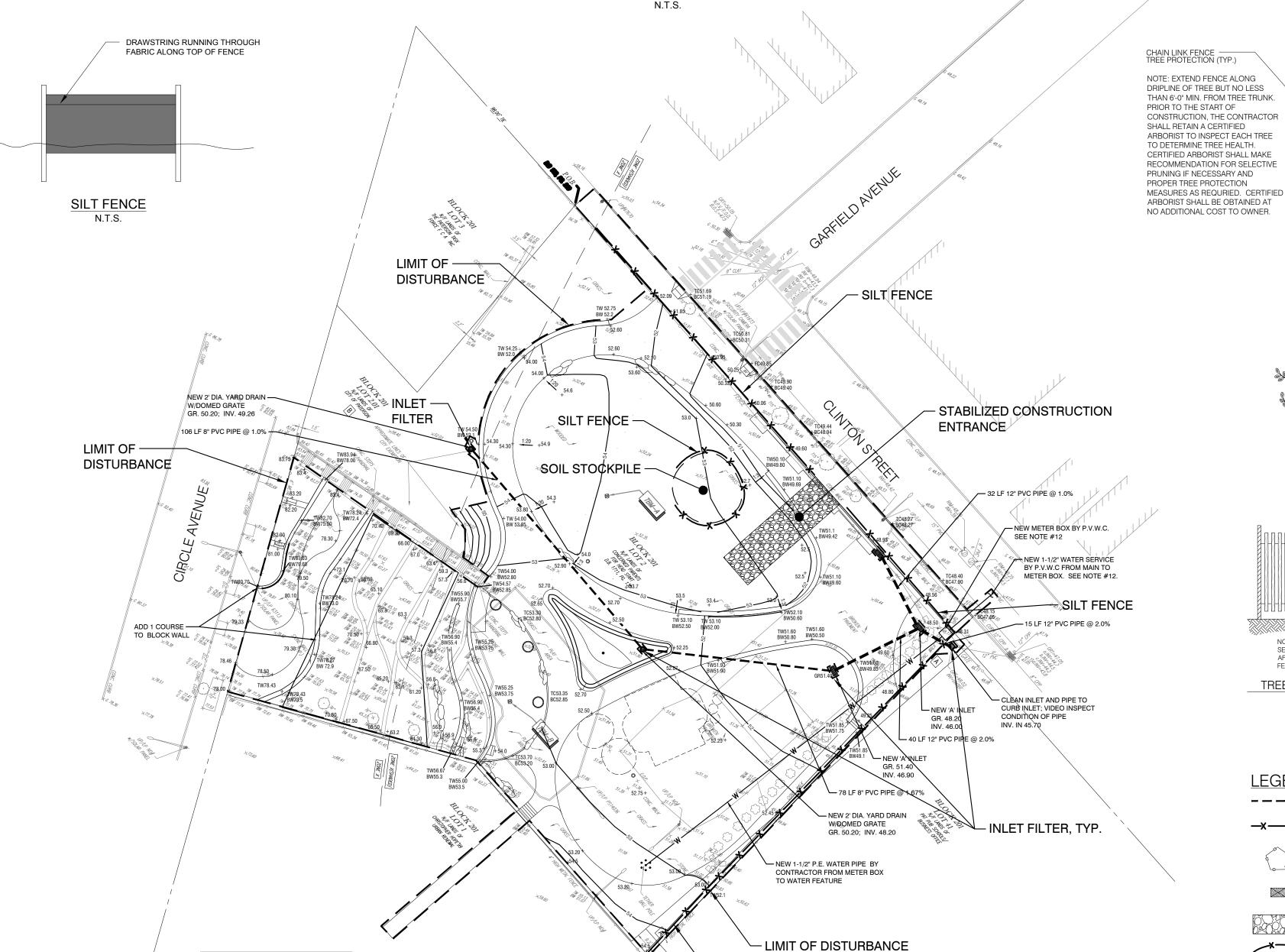
MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED

WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE

TOTAL DISTURBANCE

43,100 SQ. FT. = 0.99 ACRES



SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=30'

- SILT FENCE

NOTE: PROVIDE TEMPORARY

SCS NOTES-SHEET C-11

TEMPORARY

STOCKPILE -

TEMPORARY STOCKPILE

N.T.S.

FENCE POST-8 FT ON CENTERS

FASTENER AND FABRIC

FABRIC SECURED TO POST WITH METAL

DIG 6 IN. DEEP TRENCH, BURY —

BOTTOM FLAP, TAMP IN PLACE

FASTENERS AND REINFORCEMENT BETWEEN

SILT ACCUMULATION

SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL

GRASS COVER AS SPECIFIED IN

FENCE

2.0 FT MIN.

DUMP STRAP

SILTSACK

1" REBAR FOR BAG

REMOVAL FROM INLET

CLINTON STREET PARK Paterson, NJ

BID DOCUMENTS

Paterson, NJ 07522 Tel 973 595 6868

_2 EACH DUMP STRAPS

INSTALL SILTSACK IN CATCH BASIN, MAKING SURE EMPTYING

. HOLD DOWN REMOVAL FLAP POCKETS AND EMPTYING STRAPS

REMOVE SOIL COVERING REMOVAL FLAP POCKETS AND INSERT

3. REMOVE SILTSACK FROM CATCH BASIN BY ATTACCHING TO BOTH

TREE PROTECTION DETAIL

EXISTING TREE

NOTE: SEE EXISTING TREE PROTECTION DURING AND

FENCE LIMITS.

<u>LEGEND</u>

(1"=30')

AFTER CONSTRUCTION NOTE ON THIS SHEET FOR

TREE PROTECTION FENCE DETAIL

SILT FENCE

LIMIT OF DISTURBANCE

TREE PROTECTION

INLET PROTECTION/ FILTER

CONSTRUCTION ENTRANCE

CHAIN LINK FENCE

4. MOVE FILD SILTSACK TO DUMPING AREA AND SET ON GROUND

6. INSERT A LIFTING BAR THROUGH BOTH EMTYING STRAPS

7. LIFT WITH AVALIBALE EQUIPMENT WITH EMPTYING STAPS

STRAPES ARE LAID FLAT OUTSIDE OF BASIN AND HELD IN

INSTALLATION:

INSTALLATION:

INLET SEDIMENT CONTROL DEVICE

PLACE BY DRAIN GRATE.

BY COVERING WITH SOIL.

REBAR THROUGH POCKETS.

2. REMOVE CATCH BASIN COVER GRATE.

5. REMOVE STRAPS FROM LIFTING BARS

BARS AND LIFTING WITH AVAILABLE EQUIPMENT.

FOAM CURB OPENING FILTER

EXPANSION RESTAINT

(1/4" NYLON ROPE,

2" FLAT WASHERS)

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Issue	e:	
No.	Date	

Sheet Title: SOIL EROSION & SEDIMENT CONTROL PLAN

VH MC L-004 08/24/2022 1"=30'-0" 02-2019-127 5 of 10

CONSTRUCTION NOTES:

- 1. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE RESIDENT ENGINEER IN WRITING, PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL LAYOUT/MARK OUT ALL SITE ELEMENTS (I.E. PAVING MATERIALS, SCORING, MATERIALS, FURNISHINGS ETC.) FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ANY ELEMENTS INSTALLED WITHOUT PRIOR APPROVAL BY LANDSCAPE ARCHITECT SHALL BE REMOVED AND REPLACED PER LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO OWNER.
- 3. NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT WRITTEN APPROVAL. LAYOUT THE WORK AS DIMENSIONED ON THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DISTANCES.
- 4. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- 5. FINAL LOCATION OF ALL SITE FURNISHINGS (BENCHES, TRASH RECEPTACLES, ETC.) TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- 6. WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT OR CURBS, THE EXISTING MATERIAL SHALL BE NEATLY SAWCUT TO PROVIDE A CLEAN, NEAT AND FLUSH MATCH WITH NO TRIPPING HAZARDS.
- 7. ANY DAMAGE TO UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COST FOR REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
- 8. NEW CURBS, WALLS, AND PAVEMENTS SHALL BE BUILT TO A SMOOTH EVEN FINISH WITH A CONSISTENT TOP AND PROFILE WITHOUT WAVES OR IRREGULARITIES. ANY WORK NOT MEETING THIS QUALITY STANDARD SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 9. ALL CURVES SHALL BE CONSTRUCTED OF SMOOTH CONSISTENT RADII WITHOUT TANGENTS OF FLAT SEGMENTS.
- 10. ALL DISTURBED AREAS SHALL HAVE TOPSIL AND SEED APPLIED

LAYOUT AND MATERIALS NOTES:

- 1. CONTRACTOR SHALL HAVE LICENSED SURVEYOR LAYOUT AND STAKE IN THE FIELD THE ALIGNMENT OF ALL CURBS, PAVEMENTS, LANDSCAPE ELEMENTS AND OTHER IMPROVEMENTS FOR REVIEW BY THE OWNER. CONTRACTOR MAY NOT PROCEED WITH CONSTRUCTION OF IMPROVEMENTS UNTIL THE OWNER SHALL GRANT FINAL APPROVAL OF THE LAYOUT. THIS TIME SHALL BE ACCOUNTED FOR IN THE CONSTRUCTION SCHEDULE SUBMITTED BY THE CONTRACTOR.
- 2. NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE WRITTEN APPROVAL OF THE OWNER. LAYOUT THE WORK AS DIMENSIONED OR STATIONED ON THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DISTANCES.
- 3. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND /OR GRADE DIFFERENCES EXISTS THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. DO NOT PROCEED WITH CONSTRUCTION AND ORDERING MATERIALS WHEN INFORMATION IS INCOMPLETE OR OTHER DISCREPANCIES MAY EXIST. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING OF SUCH CONDITIONS. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE IN GIVING SUCH WRITTEN NOTIFICATION.
- 4. THE CONTRACTOR SHALL BE PROVIDED WITH AN ELECTRONIC AUTOCAD FORMAT DRAWING OF THE ENTIRE SITE PLAN TO ASSIST IN LAYOUT. SURVEYOR SHALL LAYOUT THE SITE USING THE AUTOCAD DRAWING PRIOR TO INSTALLATION OF ANY ELEMENTS, THE LANDSCAPE ARCHITECT SHALL REVIEW THE LAYOUT FOR APPROVAL.

CURB RAMP NOTES:

- 1. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADAAG AND AS OUTLINED IN PROWAG AND BY NJDOT.
- 2. SPECIAL CARE SHOULD BE TAKEN TO ENSURE THAT CURB RAMPS ARE NOT LOCATED AT LOW POINTS. PAVEMENT AT THE BASE OF THE CURB RAMP SHALL BE SLOPED HORIZONTALLY AT 1% MINIMUM AWAY FROM THE CURB RAMP AND TOWARDS INLETS. THIS IS TO ENSURE THAT PUDDLING DOES NOT OCCUR AT CURB RAMPS. IF PUDDLING DOES OCCUR, THE ISSUE SHALL RESOLVED AT THE CONTRACTORS EXPENSE.
- 3. CURB RAMPS AND SIDEWALKS THAT ARE NOT CONSTRUCTED IN COMPLIANCE WITH ADA ACCESSIBILITY REQUIREMENTS INCLUDING MAXIMUM RUNNING SLOPES, MAXIMUM CROSS SLOPES, LANDING AREA LOCATION AND SIZE, DIVERGING SIDEWALK DROP OFF PROTECTION, BLENDED TRANSITIONS, BLENDED TRANSITION RUNNING SLOPES AND CROSS SLOPES, FLARE WIDTHS, GRADE BREAKS AND GRADE BREAK DIRECTIONS, CLEAR SPACE SIZE AND LOCATION, WILL NOT BE ACCEPTED. ALL RECONSTRUCTION SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 4. BIDS THAT TAKE ADVANTAGE OF ANY ERRORS AND/OR OMISSIONS IN THE CONTRACT DRAWINGS OR DISCREPANCIES WITH THE SPECIAL PROVISIONS WILL NOT BE ACCEPTED. IN THE EVENT ANY SUCH ERROR, OMISSION, OR DISCREPANCY DISCOVERED, IMMEDIATELY NOTIFY THE OWNER IN WRITING. FAILURE TO NOTIFY THE OWNER IN WRITING WILL CONSTITUTE A WAIVER OF ALL CLAIMS FOR MISUNDERSTANDINGS, AMBIGUITIES, OR OTHER SITUATIONS RESULTING FROM THE ERROR, OMISSION, OR DISCREPANCY.
- 5. ALL MINIMUM AND MAXIMUM DIMENSIONS CONTAINED IN THE CONTRACT DRAWINGS ARE ABSOLUTE. ACCEPTANCE WILL NOT BE ISSUED IF ANY NEWLY CONSTRUCTED RAMP DOES NOT COMPLY WITH THE APPROVED DRAWINGS, CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- 6. ALTERATIONS TO EXISTING FACILITIES MUST MEET THE ADA REQUIREMENTS TO THE MAXIMUM EXTENT FEASIBLE. FOR ALTERATIONS WHERE IT IS TECHNICALLY INFEASIBLE TO MEET THE ADA REQUIREMENTS, A TECHNICALLY INFEASIBLE DOCUMENT MUST BE SUBMITTED TO THE OWNER TO DOCUMENT THAT ACCESS HAS BEEN PROVIDED TO THE MAXIMUM EXTENT FEASIBLE. DO NOT BEGIN CONSTRUCTION OF THE CURB RAMP OR DRIVEWAY CROSSING UNTIL APPROVAL OF TECHNICALLY INFEASIBLE DOCUMENT IS OBTAINED FROM THE OWNER.
- 7. ALL MINIMUM AND MAXIMUM DIMENSIONS CONTAINED IN THE CONTRACT DRAWINGS ARE ABSOLUTE. ACCEPTANCE WILL NOT BE ISSUED IF ANY NEWLY CONSTRUCTED RAMP DOES NOT COMPLY WITH THE APPROVED DRAWINGS, CONSTRUCTION STANDARDS AND SPECIFICATIONS.



Clinton Street Park Paterson, NJ

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Bid Documents

Paterson Habitat For Humanity

Paterson, NJ 07522 Phone: (973) 595-6868 Email:

Landscape Architect



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David I. Lustberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

No. Date

Remarks

Remarks

LAYOUT PLAN

By:

VH
ed By:

JR

08/24/2022

1" = 20'-0"

Number:
02-2019-127.1

Sheet:
06 of 21

FURNISHINGS NOTES:

1. INITIALLY, THE CONTRACTOR SHALL LAYOUT ALL FURNISHINGS WITHOUT ANCHORING ACCORDING TO THE PLANS. ALL LOCATIONS SHALL BE INSPECTED, ADJUSTED AND APPROVED IN THE FIELD BY THE OWNER PRIOR TO THE ANCHORING OF THE FURNISHINGS.

PAVEMENT NOTES:

- 1. ALL NEW CURBS AND PAVEMENTS SHALL MEET EXISTING CURBS & PAVEMENTS SMOOTH AND FLUSH CONDITION.
- 2. NEW CURBS, WALLS, AND PAVEMENTS SHALL BE BUILT TO A SMOOTH EVEN FINISH WITH A CONSISTENT TOP AND PROFILE WITHOUT WAVES OR IRREGULARITIES. ANY PORTIONS THAT ARE CURVED OR ON A RADIUS SHALL BE SMOOTH AND CONSISTENT. ANY WORK NOT MEETING THIS QUALITY STANDARD SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 3. IF REMOVED TO NEAREST JOINT, NEW PAVING TO BE PLACED APPROXIMATELY AT CONSTRUCTION LIMITS (REFER TO CONSTRUCTION PLANS) AND ANY AREAS IN BETWEEN TO BE FILLED WITH STANDARD CONCRETE.
- 4. ALL SIDEWALKS SHALL HAVE A RUNNING SLOPE OF NO GREATER THAN 5% AND A CROSS SLOPE NO GREATER THAN 2% (PER ADAAG) UNLESS NOTED OTHERWISE ON GRADING PLAN.
- 5. ALL SIDEWALKS SHALL SLOPE AT A MINIMUM OF 1% AWAY FROM BUILDINGS TO AVOID PUDDLING AND MOVE WATER TO DRAINS. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF THIS CANNOT BE ACHIEVED.
- 6. ALL FORMWORK ASSOCATED WITH CONCRETE WORK SHALL BE PROPERLY SUPPORTED ALONG WITH MATERIAL SELECTION TO ENSURE THE DESIRED RESULT IS ACHIEVED (STRAIGHT, CURVED, ETC.).
- 7. CARE SHOULD BE TAKEN NOT TO PLACE ANYTHING OTHER THAN CURING MATERIALS IF CALLED FOR ON CONCRETE SURFACES 48 HOURS AFTER PLACING THE CONCRETE. THE CONTRACTOR MAY BEGIN STORING MATERIALS, BACKFILLING OR OTHER LOADING (FORMS, TOOLS, EQUIPMENT, ETC.) ON THE CONCRETE SURFACE FOR 3 DAYS AFTER THE CONCRETE HAS BEEN PLACED. REFER TO NJDOT SPECIFICATIONS FOR FURTHER REQUIREMENTS ON LOADING CONCRETE STRUCTURES.
- 8. WHEREVER WIRE MESH IS USED IN REINFORCING THE CONCRETE, SPECIAL ATTENTION SHALL BE GIVEN TO ASSURE THE WIRE MESH IS INSTALLED IN THE MIDDLE/CENTER OF THE THICKNESS OF THE CONCRETE.

PLAY EQUIPMENT NOTES:

- 1. MUST SUBMIT PLAY EQUIPMENT SHOP DRAWINGS FOR FINAL REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 2. ALL EQUIPMENT MUST BE INSTALLED BY CERTIFIED PLAY EQUIPMENT INSTALLER AND CHECKED BY CERTIFIED PLAYGROUND INSPECTOR PRIOR TO PROJECT COMPLETION.

WATER FEATURE NOTES:

- 1. MUST SUBMIT WATER FEATURE SHOP DRAWINGS FOR FINAL REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- GENERAL DESIGN SCOPE: FOR THE 10 JET WATER FEATURE, MUST PROVIDE A 1.5" WATER LINE TO THE ANIMATION VALVE ASSEMBLY HEADER. IT NEEDS TO HAVE A BACKFLOW PREVENTOR AND BE ABLE TO DEVELOP AROUND 40 PSI. THE WATER FEATURE EQUIPMENT WOULD BE COMPRISED OF A CONTROL PANEL WITH LOGIC CONTROLLER, PRE PROGRAMMED, IN AN OUTDOOR RATED ENCLOSURE. THERE WILL BE ANOTHER ENCLOSURE WITH THE COMPLETE ANIMATION VALVE ASSEMBLY, PRE-PLUMBED AND TESTED, WITH HIGH SPEED VALVES, PRESSURE REDUCING VALVES AND A MODULATING VALVE. ONE ZONE WILL CONTROL 4 JETS AND THE OTHER TWO ZONES WILL CONTROL 3 JETS, EACH. THE JETS ARE TO BE INSTALLED FLUSH WITH THE FINISHED CONCRETE AND WILL ARCH OUT, AS THEY RISE. THAT WAY, THEY WILL COVER MORE AREA. OPTIMUM OPERATING HEIGHT WILL BE AROUND 6 TO 8 FEET. THE PROGRAM WILL TURN THE DIFFERENT ZONES ON AND OFF AND THEY CAN ALSO RISE SLOWLY OR QUICKLY, DEPENDING ON THE SETTING OF THE MODULATING VALVE. ADDITIONALLY, THERE IS A STAINLESS STEEL CENTER SUMP DRAIN, THE FOUNTAIN AREA NEEDS TO SLOPE TOWARDS THE CENTER. THE SURFACE AROUND THE JETS SHOULD BE A BRUSHED FINISH. THE EQUIPMENT, FREIGHT, START UP AND OWNER TRAINING, OPERATION AND MAINTENANCE MANUAL, PLUS TRADES COORDINATION MEETING ARE TO BE INCLUDED IN THE BID. THE CONCRETE AND WATERPROOFING ALSO SHOULD BE INCLUDED IN THE

PAINTED ASPHALT PAVING & GRAPHIC NOTES:

- 1. PAINTED ASPHALT COLORS AND PATTERNS SHALL BE COORDINATED BY PATERSON HABITAT FOR HUMANITY WITH THE COMMUNITY.
- 2. STREET QUILT DESIGN AND IMPLEMENTATION SHALL BE COORDINATED BY PATERSON HABITAT FOR HUMANITY WITH THE COMMUNITY.
- 3. GRAPHIC DESIGN ON ASPHALT PAVING SHALL BE COORDINATED BY PATERSON HABITAT FOR HUMANITY WITH THE COMMUNITY.



Clinton Street Park Paterson, NJ

Bid Documents

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David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851

Issue: No. Date

Date Remarks

MATERIAL & FURNISHINGS PLAN

Drawn By:

VH

Checked By:

JR

Date:

08/24/2022

Scale:

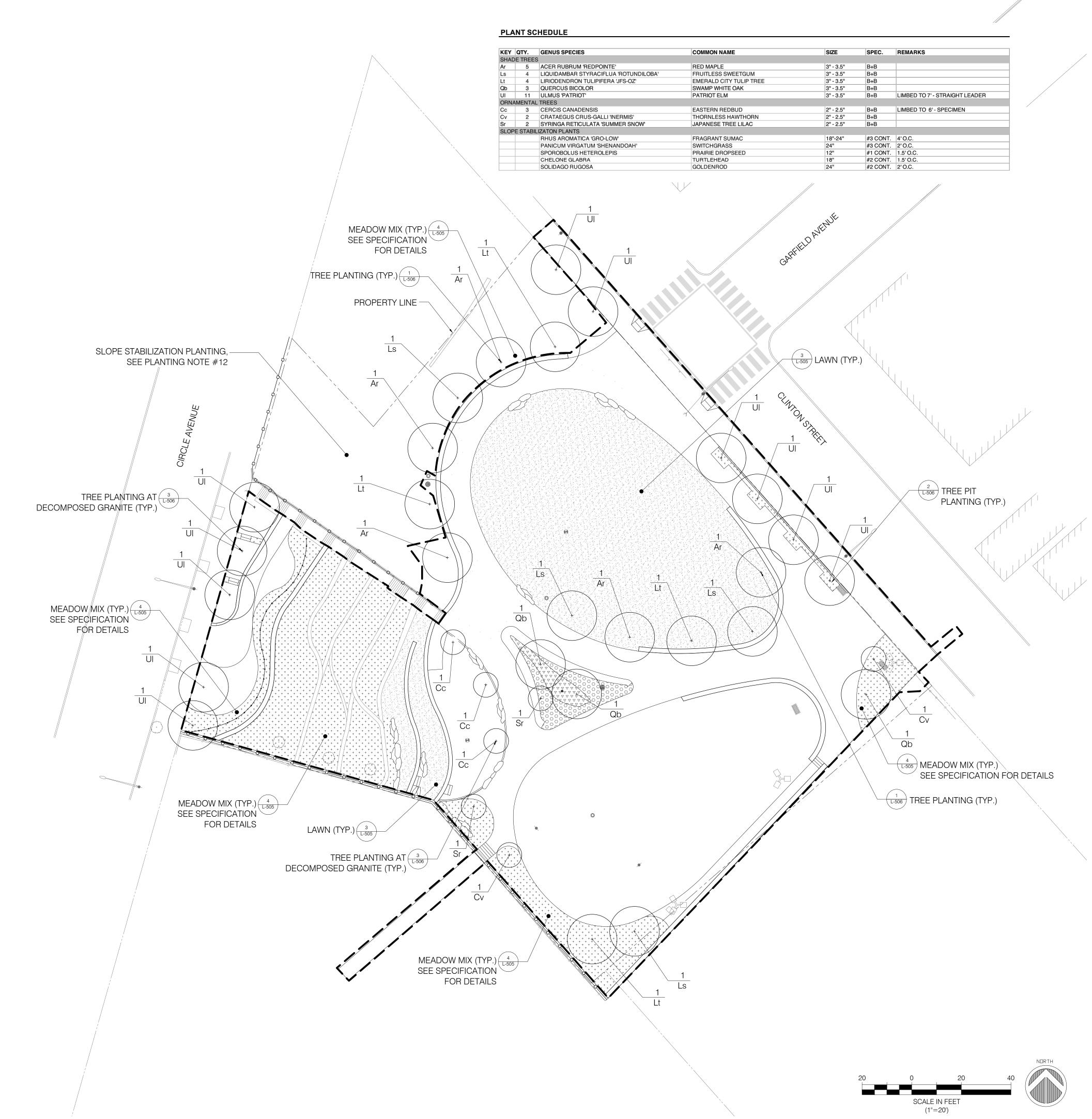
1" = 20'-0"

Project Number:
02-2019-127.1

Sheet:
07 of 21

PLANTING NOTES:

- 1. DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- 2. IT IS ASSUMED THAT THE NURSERY SHALL SHOW THE LANDSCAPE ARCHITECT THE PLANTS AS LISTED IN THE PLANT SCHEDULE. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE LANDSCAPE ARCHITECT IS SHOWN THE SPECIFIED TREES. THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT IS NOT PLANT IDENTIFICATION, BUT IS FORM, SIZE, AND STRUCTURE. ALL RESPONSIBILITY AND ADDITIONAL COSTS ASSOCIATED WITH THE INCORRECT SELECTION OF TREE SPECIES, SHOULD IT OCCUR, IS BORN SOLELY BY THE CONTRACTOR.
- 3. IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF PLANTING AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION.
- 4. GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "LANDSCAPE ARCHITECT TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.
- 6. THE ACTUAL LOCATION OF PLANT MATERIAL MAY VARY DUE TO FIELD CONDITIONS. FINAL PLACEMENT OF PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE PITS ARE DUG. NO PLANTS SHALL BE PUT INTO GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE OWNER
- 7. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN DURING THE FIRST GROWING SEASON TO ENSURE SURVIVABILITY. THE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- 8. ANY PLANT DEEMED NOT AVAILABLE BY THE CONTRACTOR SHALL BE NOTED IN THE BID AS A CONDITION OF BID. FAILURE TO QUALIFY AVAILABILITY OF SPECIFIED MATERIAL SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR SUPPLYING ALL MATERIALS AS SPECIFIED.
- 9. OWNER MAINTAINS THE RIGHT TO HAVE THE CONTRACTOR CHANGE THE SEQUENCE OF CONSTRUCTION AT ANY POINT DURING THE CONSTRUCTION, IF DEEMED NECESSARY, AT NO ADDITIONAL COST TO THE OWNER.
- 10. CONTRACTOR SHALL SUBMIT A SOIL TEST WITH RECOMMENDED AMENDMENTS, PRIOR TO SOIL MODIFICATIONS. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.
- 11. BULB MIX QUANTITIES IN PLANTING PLAN REFER TO THE ENTIRE PLANTING BED CALL OUT. SPACING OF BULBS IS 2' O.C.
- 12. RECOMMENDED SLOPE STABILIZATION PLANT SELECTIONS LISTED IN THE PLANT SCHEDULE. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT ON FINAL PLANT LOCATIONS BASED ON EXISTING SITE CONDITIONS.
- 13. EXISTING TREE PROTECTION
- 13.1. MAINTAINING SOIL AERATION BELOW THE PAVEMENT BY USING AERATION MATS SUCH AS "GEO WEB" MATERIALS
- 13.2. RIGOROUSLY PROTECT CRITICAL ROOT ZONE'S FROM SOIL COMPACTION. DESIGNATE AND ENFORCE EQUIPMENT TRAVEL ROUTES, MATERIAL STORAGE AREAS, ETC. TO MINIMIZE THE AMOUNT OF GROUND IMPACTED DURING THE CONSTRUCTION PROCESS
- 13.3. CARE IS NEEDED WHEN SEEDING MEADOW MIX ON SLOPES TO AVOID FURTHER SOIL COMPACTION AROUND EXISTING TREES
- 13.4. HELP BOOST AND MAINTAIN TREE VIGOR AND ENCOURAGE ROOTING BY APPLYING AN ORGANIC FERTILIZER / BIOSTIMULANT / SOIL MICROBE INOCULANT, SUCH AS ROOTS BRAND HEALTHY START, BIOPAK PLUS, OR SIMILAR



Clinton Street Park Paterson, NJ

Bid Documents

Client

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Landscape Architect



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QQ_

David I. Lustberg
New Jersey Licensed Landscape Architect
NJ LLA# AS00851

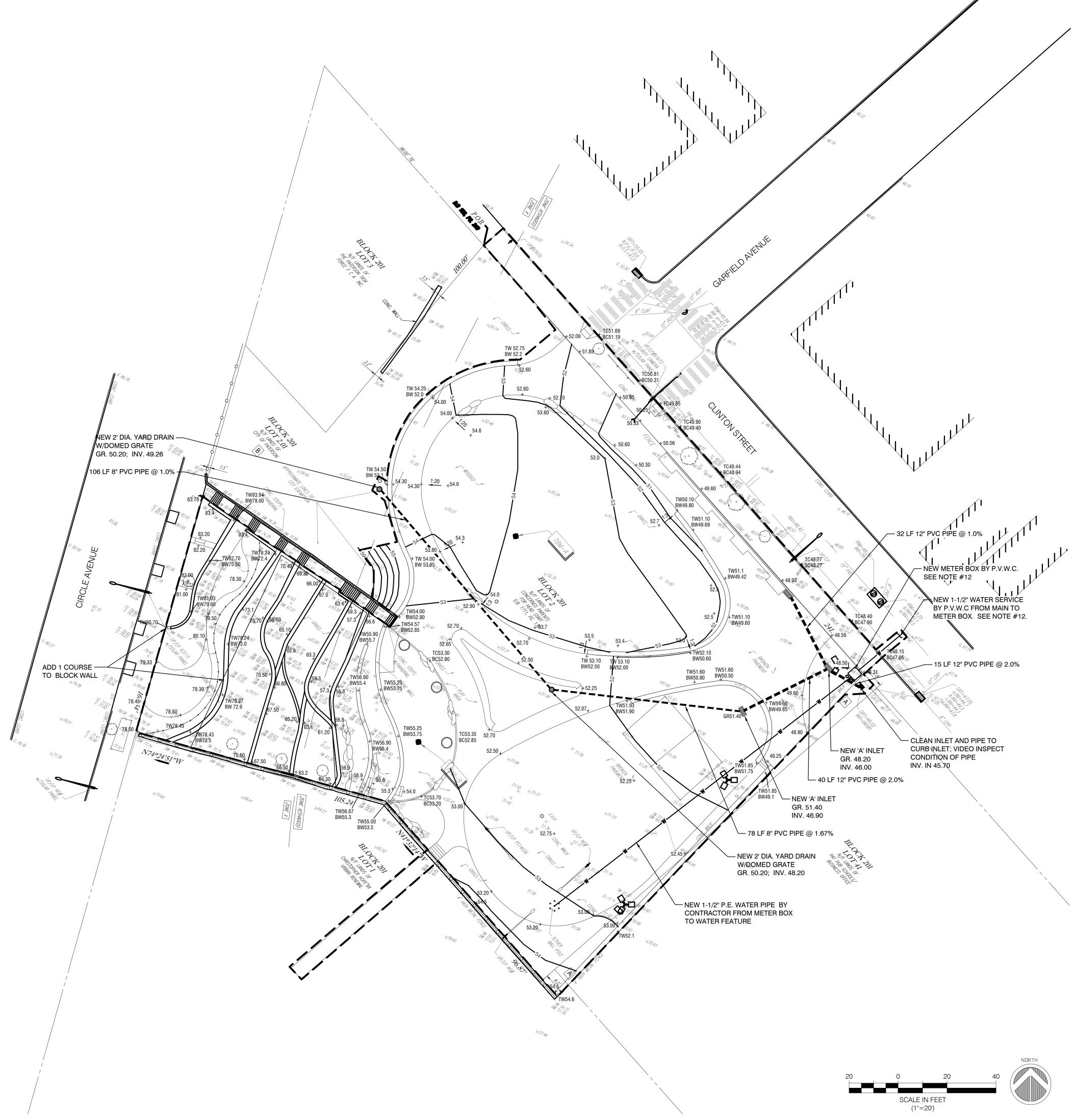
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PLANTING PLAN

THE CHARGE STREET STRE

GRADING & UTILITY NOTES

- 1. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HERE IS BASED ON A SURVEY ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, 63-95 CLINTON STREET, LOT 2, BLOCK 201, CITY OF PATERSON, PASSIAC COUNTY, STATE OF NEW JERSEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 1/08/2020.
- 2. LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES SHOWN ON THE PLANS ARE APPROXIMATE. THE ACCURACY AND COMPLETENESS OF LOCATIONS OF UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK IS NOT GUARANTEED BY CHISVETTE ENGINEERING. THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL LOCATIONS AND ELEVATIONS OF THESE UTILITIES AT THE ONSET OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OR ARCHITECT OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT.
- 3. THE CONTRACTOR SHALL CALL NEW JERSEY ONE CALL AT 811 OR 800-272-1000 AT LEAST THREE FULL BUSINESS DAYS (NOT COUNTING WEEKENDS OR HOLIDAYS) PRIOR BEGINNING WORK.
- 4. ALL ELEVATIONS SHOWN ARE BASED ON AN THE NAVD88 DATUM.
- 5. ALL WALKWAYS TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% UNLESS OTHERWISE NOTED.
- 6. STORM AND SANITARY SEWER PIPE SHALL BE MATERIAL INDICATED:
- RCP PIPE SHALL BE CLASS III, WALL "B" PER ASTM C76 OR C507, UNLESS OTHERWISE INDICATED.
- HDPE PIPE SHALL BE SMOOTH INTERIOR, DOUBLE WALL PIPE MEETING ASTM F2306 AND AASHTO M294, TYPE "S". PIPE JOINTS SHALL BE SILT-TIGHT IN ACCORDANCE WITH ASTM D3212.
- PVC PIPE SHALL BE GASKETED PIPE, SDR35 MEETING ASTM D3034 OR PS46 MEETING ASTM F679, UNLESS OTHERWISE NOTED.-
- DUCTILE IRON FOR STORM AND SANITARY USE SHALL MEET THE REQUIREMENTS OF ASTM A716 OR ASTM A746.
- 7. WATER SERVICE PIPES FROM THE MAIN SHALL BE ROLLED SOFT CLASS K COPPER PIPE APPROVED FOR 350 PSI. SERVICE PIPE SHALL BE LAID IN ACCORDANCE WITH PASSAIC VALLEY WATER COMMISSION SPECIFICATIONS.
- 8. WATER DISTRIBUTION PIPE WITHIN THE SITE SHALL BE POLYETHYLENE PIPE CONFORMING TO THE PHCC NATIONAL STANDARD PLUMBING CODE FOR WATER SERVICE PIPE.
- 9. COST OF THE WATER METER PIT AND SERVICE LINE FROM THE MAIN TO THE METER PIT WILL BE PAID BY THE OWNER DIRECTLY TO THE PASSAIC VALLEY WATER COMMISSION.



CLINTON STREET PARK Paterson, NJ

BID DOCUMENTS

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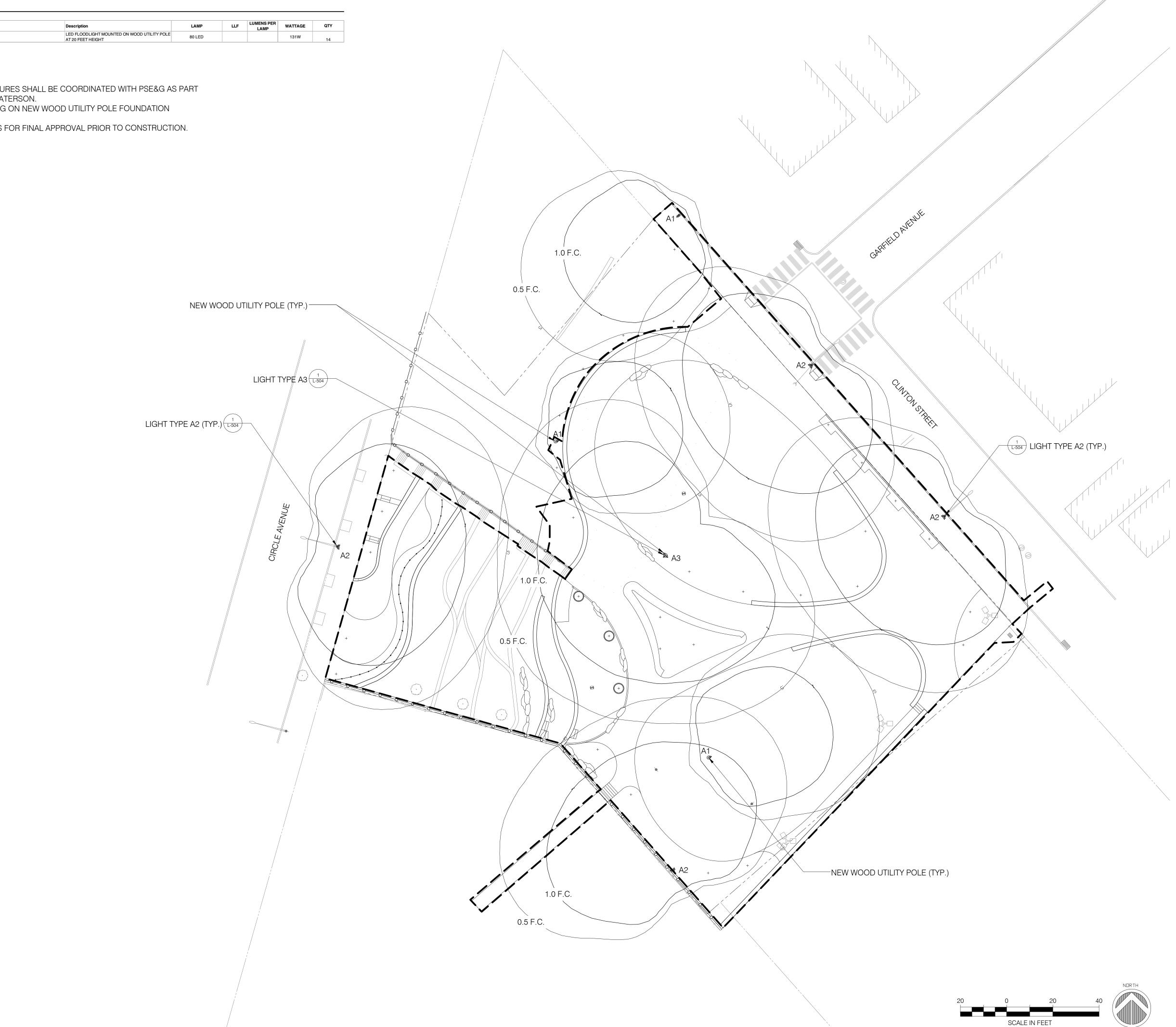
DRAFT 8-04-22 GRADING, DRAINAGE & UTILITY PLAN

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-2019-127	9 of 10

Symbol	Туре	Manufacturer	Catalog Number	Description	LAMP	LLF	LUMENS PER LAMP	WATTAGE	QTY
	А	GARDCO	FX1 - FLOODLIIGHT	LED FLOODLIGHT MOUNTED ON WOOD UTILITY POLE AT 20 FEET HEIGHT	80 LED			131W	14

LIGHTING NOTES:

- 1. ALL NEW WOOD UTILITY POLE AND LIGHT FIXTURES SHALL BE COORDINATED WITH PSE&G AS PART
- OF THE LEASE PROGRAM WITH THE CITY OF PATERSON.
- 2. CONTRACTOR MUST COORDINATE WITH PSE&G ON NEW WOOD UTILITY POLE FOUNDATION
- 3. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR FINAL APPROVAL PRIOR TO CONSTRUCTION.



Clinton Street Park Paterson, NJ

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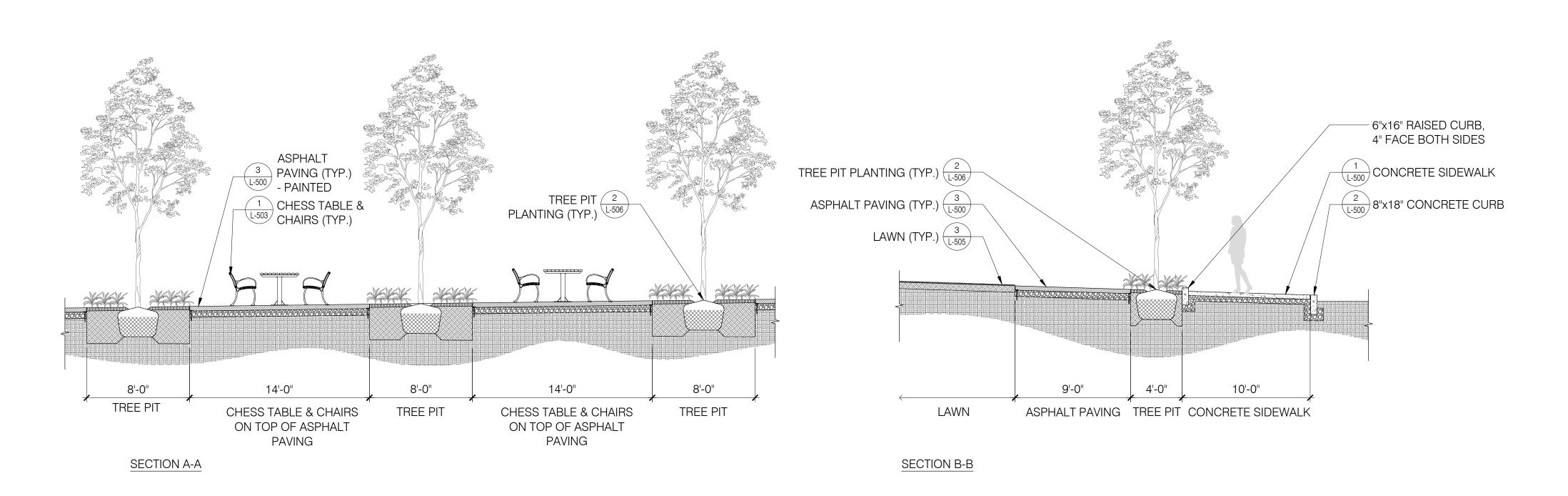
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LIGHTING PLAN L-105 08/24/2022

Sheet: 10 of 21

1" = 20'-0"



CLINTON STREET ENLARGEMENT

SCALE: 3/16"=1'-0"

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NJ LLA# AS00851

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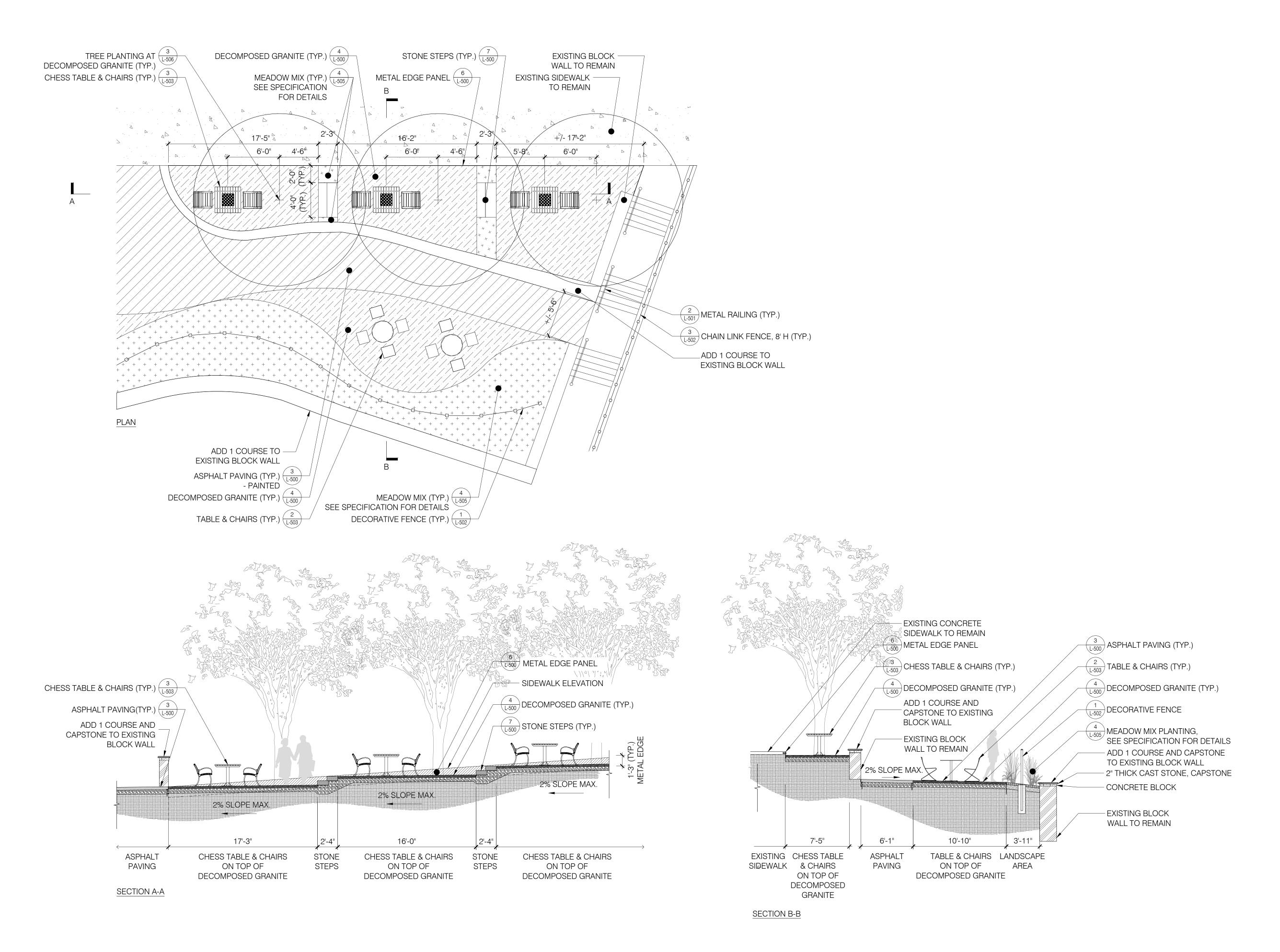
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CIRCLE AVENUE ENLARGEMENT

SCALE: 3/16"=1'-0"

Clinton Street Park Paterson, NJ

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NJ LLA# AS00851

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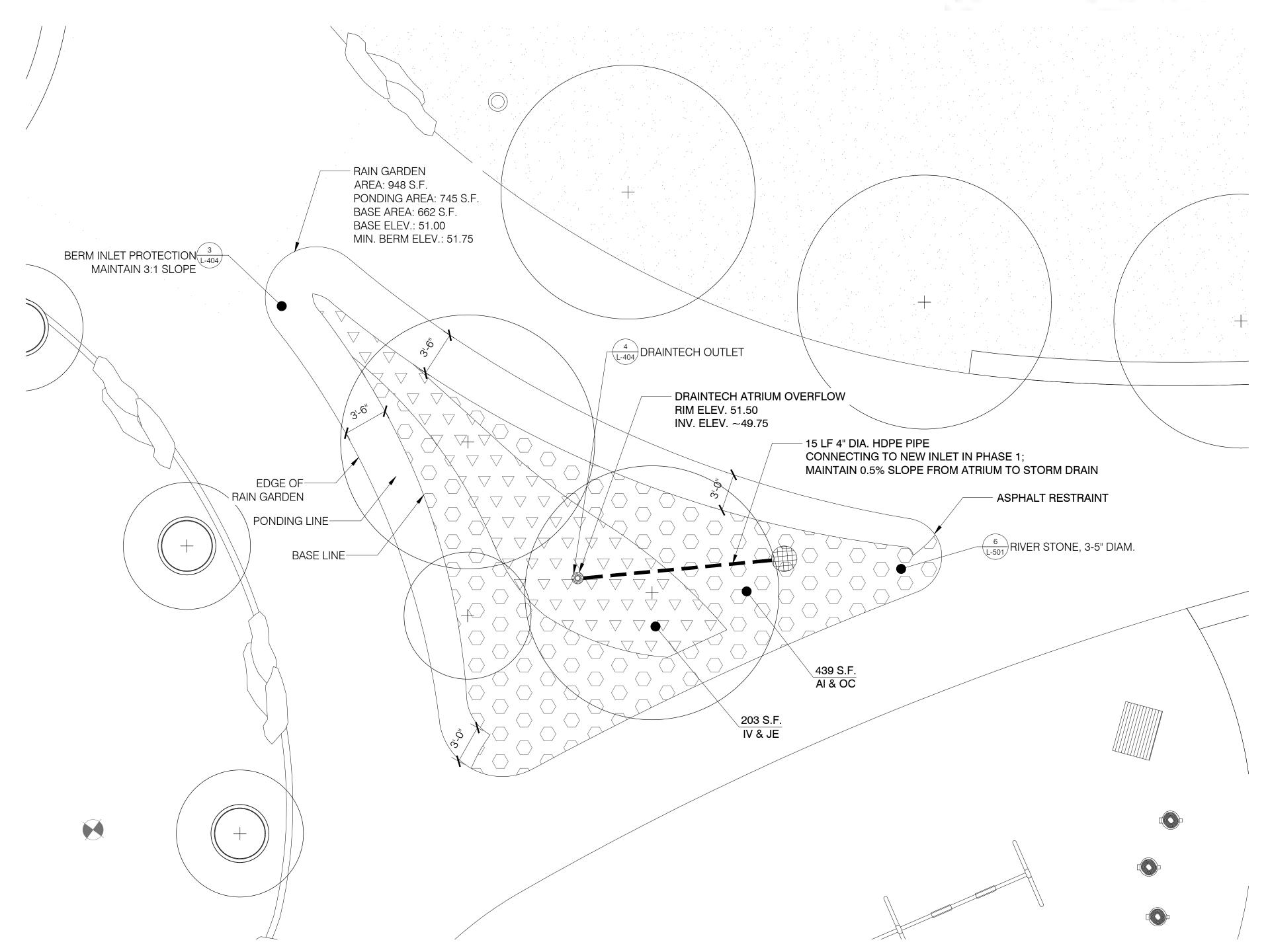
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		PLAN	ITING SCHEDULE		
		PLANT SPECIES		TOTAL	CLZE
TYPE	KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
PERENNIALS	IV	Iris versicolor	BLUE FLAG IRIS	50	2" PLUG
	JE	Juncus effusus	SOFT RUSH	40	2" PLUG
	Al	Asclepius incarnata	SWAMP MILKWEED	37	1 QUART
	SN	Symphyotrichum novae-angliae	NEW ENGLAND ASTER	36	1 QUART
	ОС	Osmundastrum cinnamomeum	CINNAMON FERN	36	1 QUART

QUAN'	TITY/COST ESTIMATES	S	
Rain Garden		Quantity	
Excava	Excavation (CY)		
Discussion Patt	Concrete Sand (CY)	15	
Bioretention Soil	Compost (CY)	6	
Mula	Mulch (CY)		
3-5" River Stone (Tons)		13.0	
Landscape Fabric (SF)		306	
Plants	Perennials	200	
	Shrubs	0	
	Trees	2	
HDPE Pipe and Fittings (Feet)		15	
Concret	e Curb Cut	0	
	Total Cost		



RAIN GARDEN ENLARGEMENT

Clinton Street Park Paterson, NJ

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Consultant:

RUTGERS COOPERATIVE EXTENSION WATER RESOURCE PROGRAM 14 College Farm Road New Brunswick, NJ, 08901 Phone: (848) 932-5711

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Christopher C. Obropta, Ph. D., P.E. Professional Engineer NJ LIC# 37532	

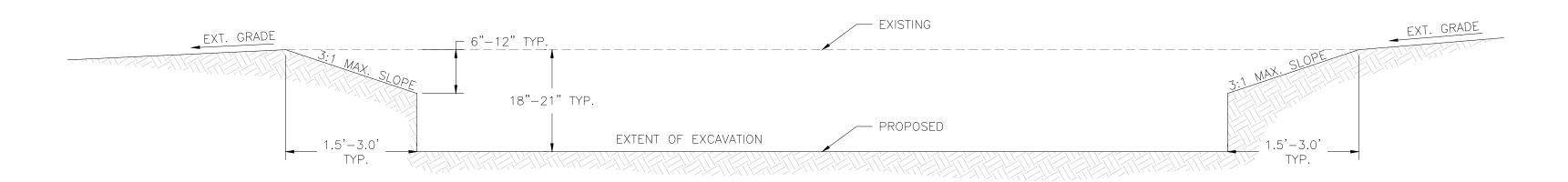
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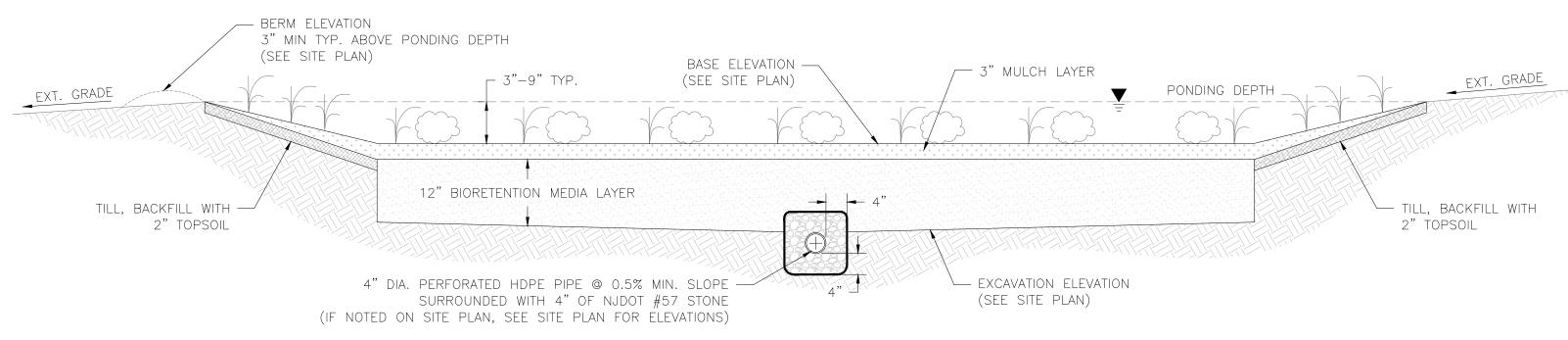
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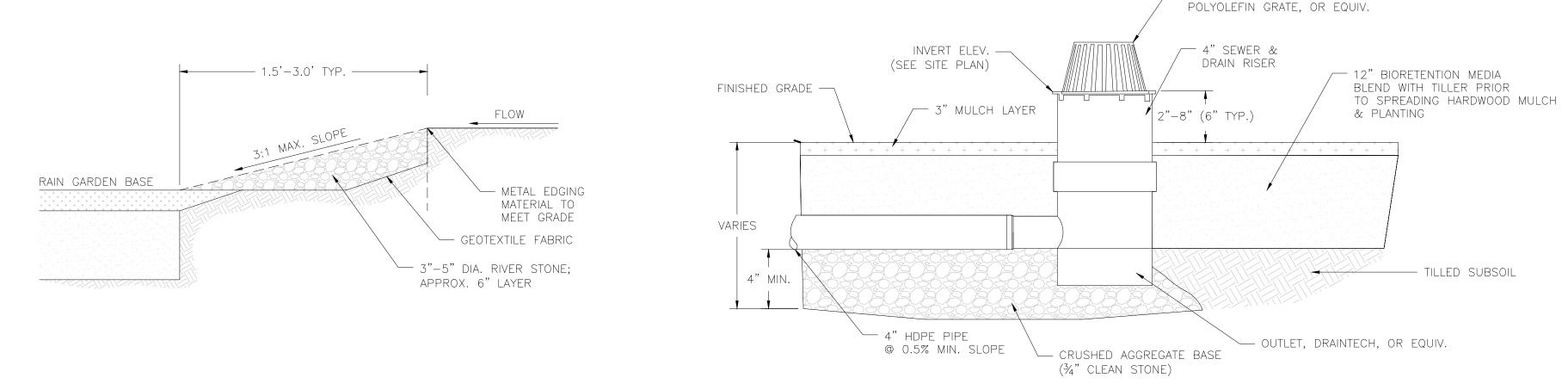
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EXCAVATION SECTION

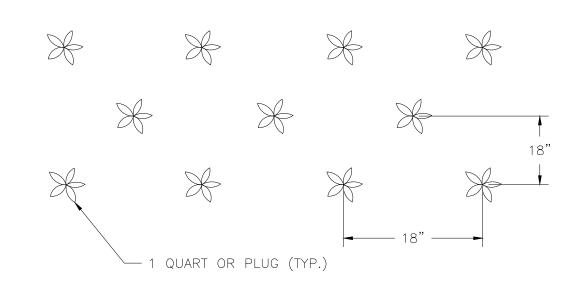


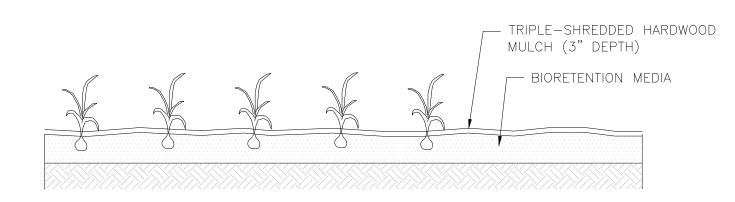


BERM INLET PROTECTION CROSS SECTION SCALE: N.T.S.



- DRAINTECH 4" ATRIUM





HERBACEOUS PLUG PLANTING DETAIL

CONSTRUCTION NOTES:

9. REFER TO SITE PLAN FOR ALL ELEVATIONS AND INVERTS.

- 1. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PRIOR TO EXCAVATION INCLUDING ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES.
- 2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY FIELD CONDITIONS DIFFER MATERIALLY FROM THOSE REPRESENTED ON THESE DRAWINGS AND THE SPECIFICATIONS OR IF, IN THE CONTRACTOR'S OPINION, SAID CONDITIONS CONFLICT WITH THE DESIGNS SHOWN HEREON.
- 3. THE ENGINEER SHALL INSPECT ALL PLANTING BED AREAS BEFORE MULCHING TO ENSURE THAT ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE MULCHED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL TAKE CORRECTIVE ACTION.
- 4. THE CONTRACTOR SHALL AVOID DISTURBING ALL EXISTING TREES. ANY DISTURBANCE TO TREES OR TREE ROOTS MUST BE COORDINATED WITH THE PROPERTY
- 5. DIMENSIONS AND SHAPE WILL VARY, REFER TO SITE PLAN.
- RIVER STONE PROTECTION DIMENSIONS ARE TYPICAL AND MAY VARY PER SITE. CONSULT THE ENGINEER AND SITE PLAN FOR DIMENSIONS ON A PER SITE BASIS. RIVER STONE PROTECTION SHALL SLOPE TO RAIN GARDEN BASE.
- REFER TO SITE PLAN TO DETERMINE OUTLET TYPE (ROCK-LINED OVERFLOW OR DRAINTECH RISER).
 - 10. THE CONTRACTOR SHALL EXCAVATE 15" LOWER THAN THE BASE ELEVATION SHOWN ON THE SITE PLANS. THE SLOPES OF THE RAIN GARDEN SHALL BE AT A 3:1
 - 11. THE SUBGRADE OF THE RAIN GARDEN SHALL BE LEVEL TO ENSURE PROPER DRAINAGE. CONTRACTOR SHALL OBTAIN ENGINEER APPROVAL PRIOR TO
 - BACKFILLING WITH 12" OF BIORETENTION MEDIA. 12. THE CONTRACTOR SHALL INSTALL OVERFLOW IF SPECIFIED IN SITE PLANS PRIOR TO BACKFILLING WITH BIORETENTION MEDIA.
- 13. THE BIORETENTION LAYER SHALL BE LEVEL TO ENSURE PROPER DRAINAGE. CONTRACTOR SHALL OBTAIN ENGINEER APPROVAL PRIOR TO SPREADING MULCH
- 14. INLET AND OUTLET PROTECTION SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC. 15. INLETS AND OUTLETS SHALL NOT INHIBIT THE FLOW OF WATER FROM THE STREET. THE RIVER STONE SHALL BE PLACED BELOW THE BOTTOM OF THE PIPE.
- 16. THE CONTRACTOR SHALL TILL THE BERM SECTION AND BACKFILL WITH TOPSOIL.
- 17. ALL DISTURBED AREAS EXCLUSIVE OF RAIN GARDEN AND SLOPED BERM SHALL BE RESTORED TO ORIGINAL CONDITIONS BY CONTRACTOR.

18. THE CONTRACTOR SHALL HAVE A PRE-CONSTRUCTION MEETING WITH THE PROJECT ENGINEER PRIOR TO ANY WORK ON SITE.

19. CONTRACTOR SHALL PERFORM REQUIRED TESTING TO DETERMINE SOIL PERMEABILITY AND SEASONAL HIGH WATER TABLE ELEVATION AT THE SITE TO VERIFY INFILTRATION CAPABILITIES. TESTING SHALL BE DONE PRIOR TO EXCAVATION AND INSTALLATION OF THE PROPOSED PROJECTS. PROJECT ENGINEER SHALL BE PRESENT DURING TESTING AND SHALL BE INFORMED OF THE RESULTS.

SPECIFICATIONS:

- MAX COVER OVER TOP OF PIPES IS 4 FT. CONTACT ADS IF OTHERWISE GREATER.
- 2. THE APPROVAL OF MATERIALS AND MIXING OF SAND, COMPOST, AND SOIL SHALL BE DONE UNDER THE SUPERVISION OF THE PROJECT ENGINEER/LANDSCAPE ARCHITECT. BIORETENTION MEDIA SHALL CONSIST OF 70% SAND AND 30% COMPOST MIXTURE.
- 3. SAND SHALL AT THE MINIMUM CONFORM TO THE SIEVE ANALYSIS FOR CONCRETE AGGREGATE SAND (ASTM C-33). USGA TEE/GREEN SIEVE GRADATION MIX IS PREFERABLE WHERE AVAILABLE.
- 4. UNDERLYING SOILS SHALL BE TILLED/SCARIFIED PRIOR TO SPREADING/MIXING OF BIORETENTION MEDIA.
- 5. ALL BIORETENTION MEDIA SHALL BE PLACED FROM THE SIDES OF THE FACILITIES, AND IN NO EVENT SHALL ANY TRACKED OR WHEELED EQUIPMENT BE
- PERMITTED TO CROSS THE RAIN GARDEN.
- 6. RAIN GARDEN SHALL BE CONSTRUCTED TO DIMENSIONS INDICATED ON THE SITE PLAN. 3-5 INCH DELAWARE RIVER STONE SHALL BE USED FOR STONE CHANNEL AND INLET/OUTLET PROTECTION.
- NON-DYED, TRIPLE-SHREDDED HARDWOOD MULCH SHALL BE USED.
- 9. PLANTING OF RAIN GARDEN AND SLOPED BERM SHALL BE COMPLETED AS INDICATED ON THE SITE PLAN.
- 10. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 OR LATEST VERSION.

PLANTING AND LANDSCAPING:

TOPSOILING, SEEDING AND MULCHING NOTES

- ANY UNDISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 10 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE REQUIRED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR SHALL BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE SEEDED AND MULCHED WITH A PERMANENT SEED MIXTURE AND MULCH.
- DIVERSIONS, CHANNELS, SEDIMENTATION BASINS, SEDIMENT TRAPS, AND STOCKPILES MUST BE SEEDED AND MULCHED IMMEDIATELY
- GRADED AREAS SHALL BE TEMPORARILY SEEDED AND MULCHED IMMEDIATELY FOLLOWING EARTH MOVING PROCEDURES. TEMPORARY SEED SHALL BE ANNUAL RYE GRASS APPLIED AT A RATE OF 3 LBS. PER 1000 SQ. FT.
- AFTER SEEDING, HAY OR STRAW MULCH MUST BE APPLIED AT A RATE OF AT LEAST 3.0 TONS PER ACRE. MULCH SHALL BE ANCHORED BY EITHER CRIMPING WITH A COULTER IMPLEMENT, OR BY STAPLING BIODEGRADABLE NETTING TO THE SURFACE.
- 5. SITE PREPARATION TO UPLAND AREAS: APPLY 1 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE PLUS 10-20-10 FERTILIZER AT THE RATE OF 500 LB. PER ACRE. WORK IN WHERE POSSIBLE. SEEDING OF DISTURBED UPLAND AREAS (BEYOND LIMITS OF RIPARIAN ENHANCEMENT AREA) TO BE DONE USING MIX OF
- FINE FESCUE AT 35 LBS/ACRE (PURE LIVE SEED) PLUS PERENNIAL RYEGRASS AT 15 LBS/ACRE (PURE LIVE SEED). TOPSOIL SHALL BE A CLEAN FRIABLE LOAM WITH SUFFICIENT ORGANIC CONTENT (2.75%) TO PROMOTE PLANT VIGOR. AMENDMENTS SHALL BE ADDED AS
- NEEDED TO IMPROVE DEFICIENT SOILS. TOPSOIL SHALL BE RETURNED AT A LOOSE DEPTH OF FIVE INCHES TO ALLOW FOR SETTLEMENT. ESTABLISH PERMANENT SEEDING AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETE. UNLESS OTHERWISE INDICATED, PERMANENT SEEDING SHALL
- BE SEED MIXTURE SPECIFIED IN TABLE.
- 8. SEE TABLES FOR SEED SPECIES MIXTURE AND APPLICATION RATES 9. SEED MIXES ARE AVAILABLE AT ERNST CONSERVATION SEEDS IN MEADVILLE, PA. WEBSITE: WWW.ERNSTSEED.COM OR PHONE: 1-800-873-3321
- 10. NATIVE SHRUBS AND HERBACEOUS PLUGS ARE AVAILABLE AT PINELANDS NURSERY AND SUPPLY, COLUMBUS NJ.
- WEBSITE: WWW.PINELANDSNURSERY.COM OR PHONE 1-800-667-2729

GENERAL LANDSCAPING NOTES

- 1. ALL PLANT MATERIALS SHALL CONFIRM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) 2. INSPECTION OF PLANTING BEDS - THE LANDSCAPE ARCHITECT SHALL INSPECT ALL PLANTING AREAS BEFORE ANY TOPSOILING OR PLANTING IS BEGUN TO INSURE THAT ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE LANDSCAPED SHOW EVIDENCE OF POOR DRAINAGE, THE LANDSCAPE ARCHITECT SHALL NOTIFY THE OWNER IMMEDIATELY FOR CORRECTIVE ACTION
- 3. THE LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT MATERIAL AND STAKED PLANT LOCATIONS PRIOR TO INSTALLATION. ALL HERBACEOUS PLUG
- PLANTINGS SHALL BE A MINIMUM 3 INCH DEPTH. PLUGS SHALL BE PLANTED 1 FOOT O.C. AS INDICATED ON PLAN. 4. ALL TREES, SHRUBS, AND GROUNDCOVER SHALL BE PLACED IN CONTINUOUS MULCHED BEDS 4" IN DEPTH. MUCH SHALL BE TRIPLE SHREDDED HARDWOOD.

5. ALL TREES, SHRUBS, AND GROUNDCOVER SHALL BE AS SPECIFIED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AND COMMENTS NOTED ON

- THE DRAWINGS. 6. TOPSOIL SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR FOR PLANTING ACCORDING TO THE PLANS AND DETAILS
- 7. PREPARED TOPSOIL FOR BACKFILLING AROUND TREE BALLS SHALL BE A MIXTURE OF VOLUME OF THE FOLLOWING MATERIALS IN QUANTITIES SPECIFIED: 1/3
- 8. ALL HERBACEOUS PLUG PLANTINGS SHALL BE MINIMUM 3 INCH DEPTH. PLUGS SHALL BE PLANTED 1 FOOT O.C. AS INDICATED ON PLAN.

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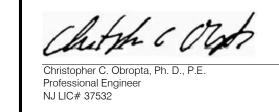
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New Brunswick, NJ, 08901

Phone: (848) 932-5711

CHISVETTE ENGINEERING, LLC 320 Lenox Avenue Pompton Lakes, NJ, 07442 Phone: (973) 897-7968

Consultant: **RUTGERS COOPERATIVE EXTENSION** WATER RESOURCE PROGRAM 14 College Farm Road



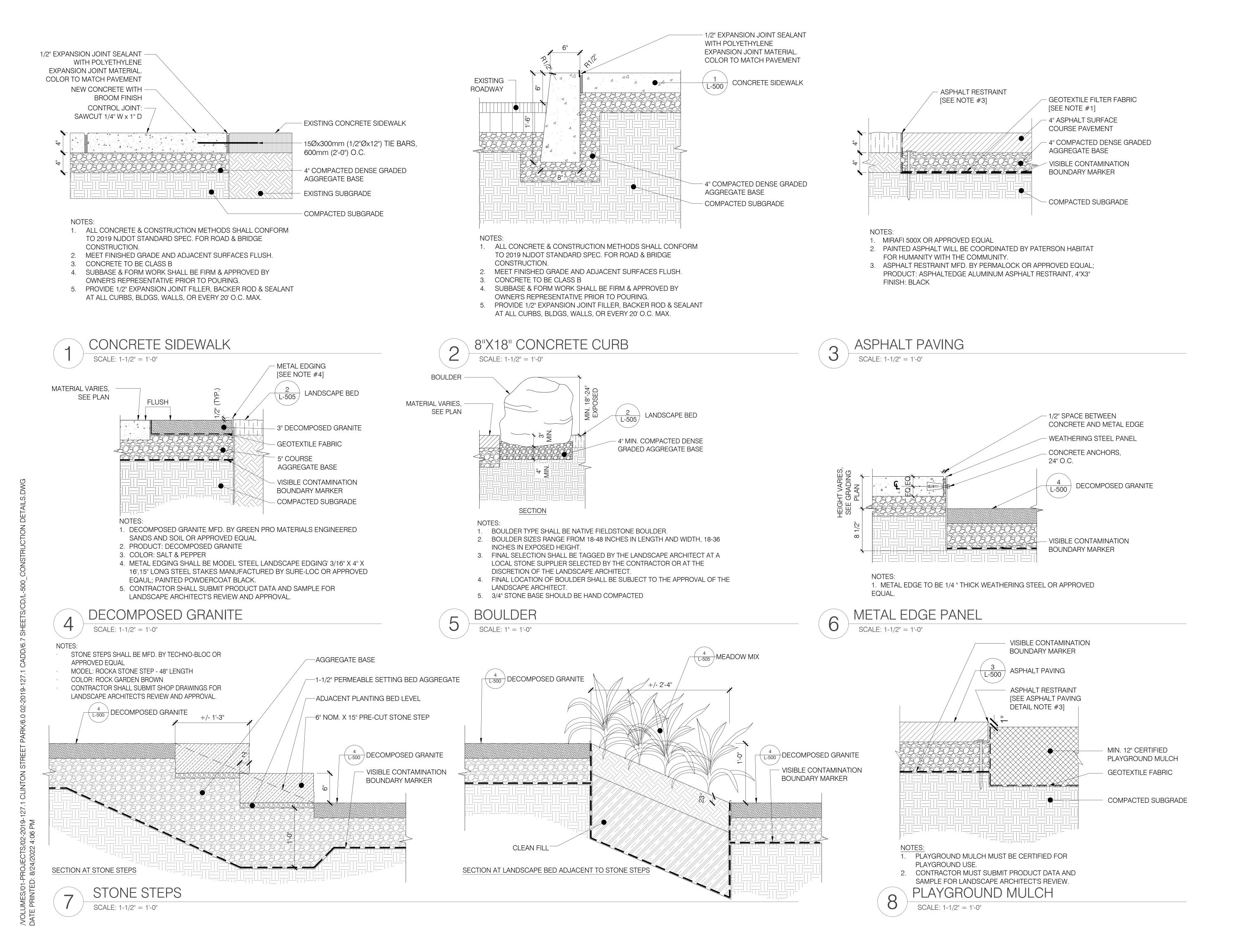
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Remarks

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	SARDEN & DETAILS
Drawn By:	
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Scale:	
AS NOTED	
Project Number:	Shoot:

14 of 21



Clinton Street Park Paterson, NJ

Bid Documents

Paterson Habitat For Humanity
146 North 1st Street
Paterson, NJ 07522
Phone: (973) 595-6868
Email:

Landscape Architect



COFA #MH000044

Montclair, New Jersey 07042 USA

507 Bloomfield Ave., 2nd Floor

www.arterialstreets.com
Tel / Fax 973 320 9123
info@arterialstreets.com

Civil Engineer:

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Pompton Lakes, NJ, 07442

Pompton Lakes, NJ, 07442 Phone: (973) 897-7968 Fax: (973) 970-2010

David I. Lustberg

NJ LLA# AS00851

No. Date

Issue:

New Jersey Licensed Landscape Architect

Remarks

Sheet Title:

CONSTRUCTION DETAILS

Drawn By:

VH
Checked By:

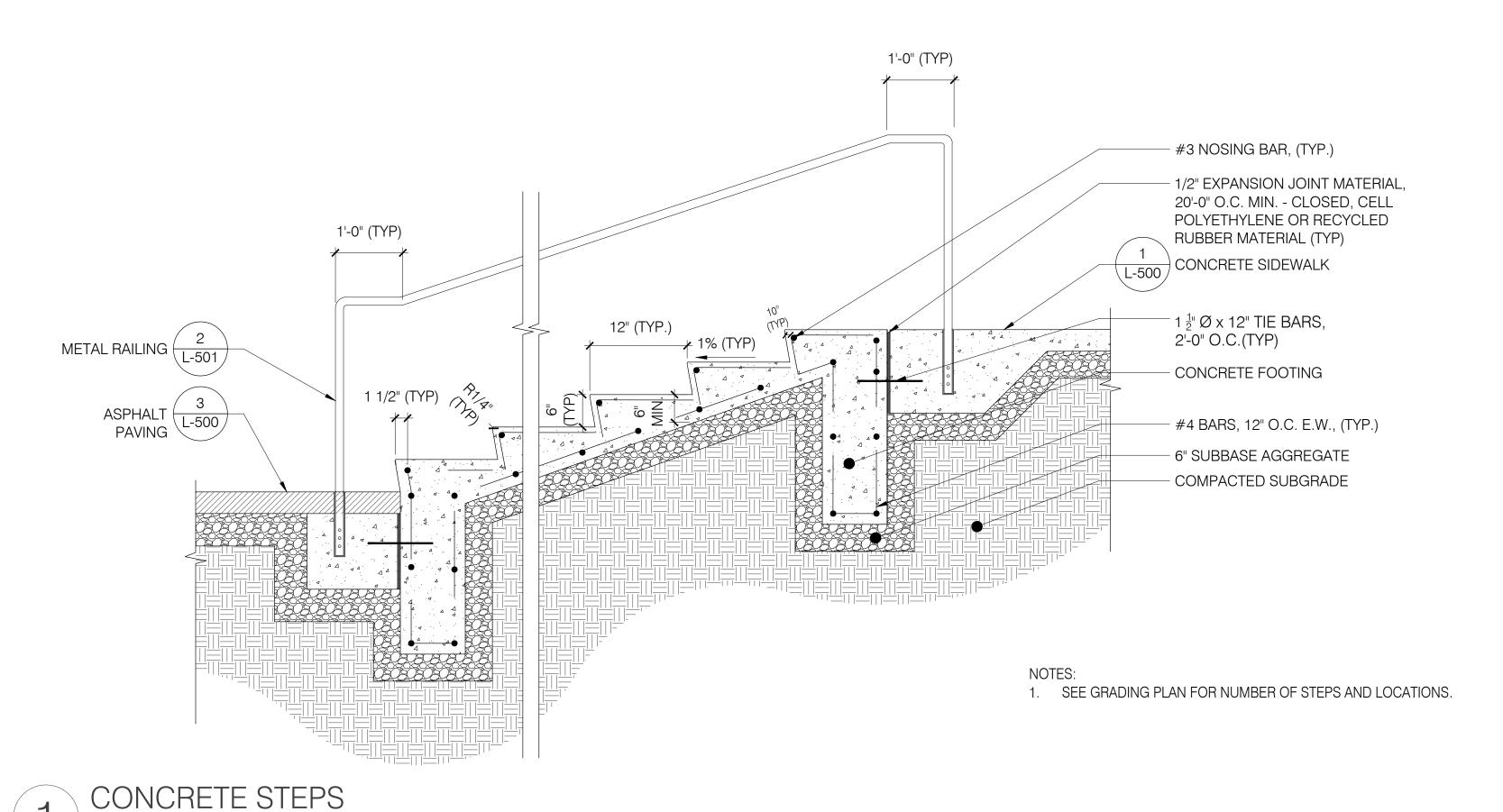
VH
secked By:

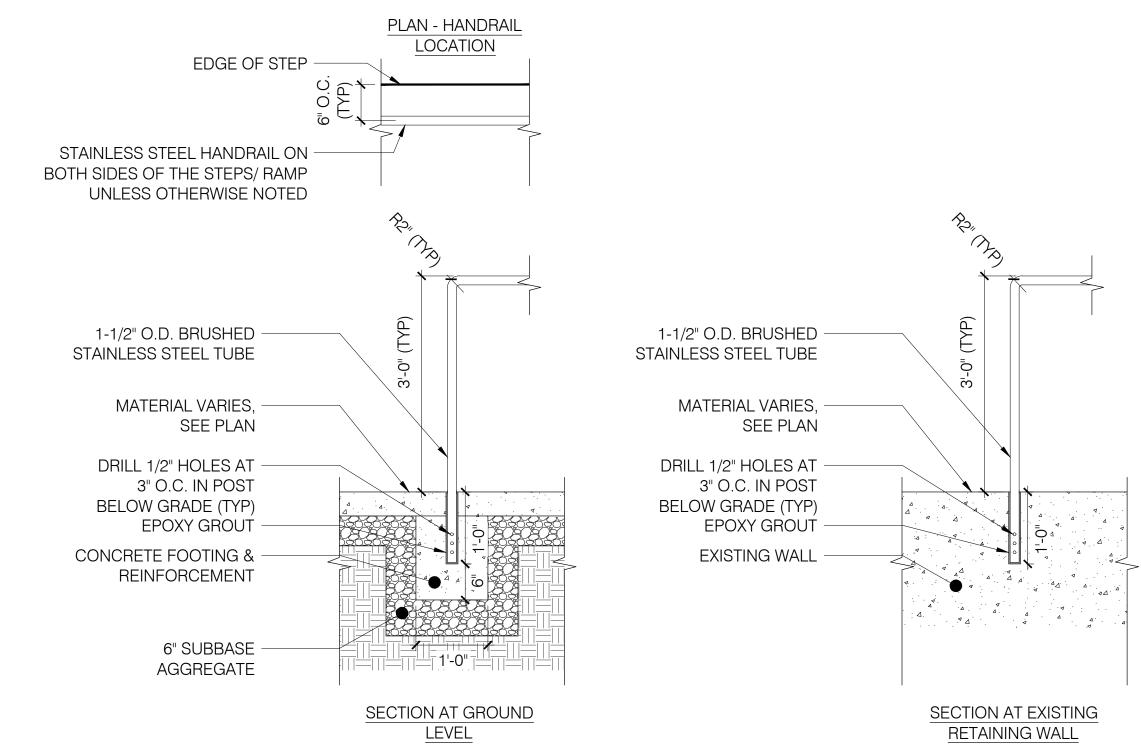
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AS NOTED

15 of 21

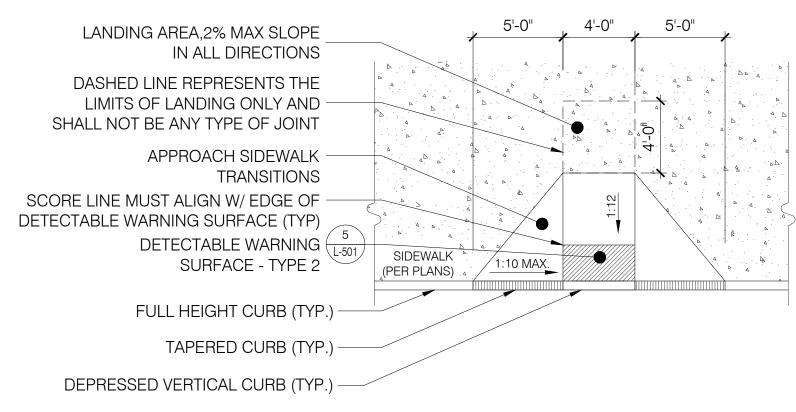




VARIES (REFER TO PLANS) WHITE THERMOPLASTIC STRIPE 2'-0" 1'-6" WHITE THERMOPLASTIC TRAFFIC MARKERS

THERMOPLASTIC CROSSWALK SCALE: 3/16" = 1'-0"

SCALE: 3/4" = 1'-0"



PERPENDICULAR CURB RAMP NOTES: 1. CURB RAMPS SHALL BE WHOLLY CONTAINED WITHIN THE MARKED CROSSING, EXCLUDING THE FLARED SIDES. 2. WHENEVER POSSIBLE, CURB RAMP SHALL BE PERPENDICULAR TO THE CURB.

18.286" 20.571"

 ★ 9.143" ★ 2.286" ★★
 ★ 9.143" ★

 27.429" + + + + + + + + + + + + + + + UAL SP UA DETAIL A AIR VENTS LOCATED ON
THE ENDS OF THE TWS UNIT 20 - EQUAL SPACES 15 - EQUAL SPACES TOP OF PANEL - 36" TOP OF PANEL - 48" ELEVATION - 48" ELEVATION - 36" SECTION A-A - 48" SECTION A-A - 36" DETAIL A FIELD DOT 7 DOME LAYOUT DETAIL B TYPE 1 - STRAIGHT

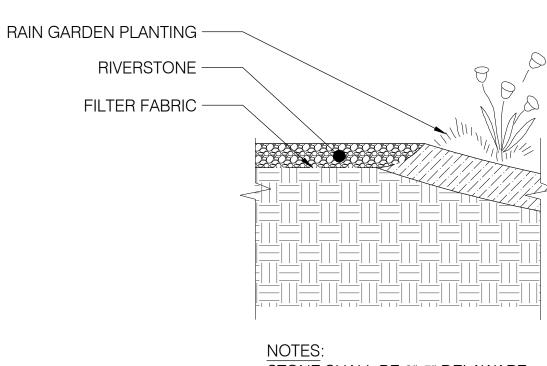
TRUNCATED DOME PAVERS AS MFD. BY: ADA SOLUTIONS, INC. OR APPROVED EQUAL P.O. BOX 3 NORTH BILLERICA, MA 01862 TEL: (800) 372. 0519 FAX: (978) 262. 9125 HTTP://ADATILE.COM EMAIL: INFO@ADATILE.COM

METAL RAILING

SCALE: 3/4" = 1'-0"

TYPE: CAST-IN PLACE REPLACEABLE TRUNCATED DOME DETECTABLE WARNING SYSTEMS PAVER: TACTILE PAVER MATERIAL: GLASS & CARBON COMPOSITE COLOR: BRICK RED

NOTE: 1. ALL ADA CURB RAMPS WITH A STRAIGHT CURB TO USE THIS TACTILE PAVER FOR THE DETECTABLE WARNING SURFACE.



STONE SHALL BE 3"-5" DELAWARE RIVERSTONE AS SUPPLIED BY WIKI STONE OR APPROVED EQUAL.

CURB RAMP SCALE: 3/16"=1'-0"

DETECTABLE WARNING SURFACE SCALE: 3/4"=1'-0"



Clinton Street Park Paterson, NJ

Bid Documents

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Landscape Architect

507 Bloomfield Ave., 2nd Floor Montclair, New Jersey 07042 USA COFA #MH000044

www.arterialstreets.com Tel / Fax 973 320 9123 info@arterialstreets.com

Civil Engineer: CHISVETTE ENGINEERING, LLC 320 Lenox Avenue

Pompton Lakes, NJ, 07442 Phone: (973) 897-7968 Fax: (973) 970-2010

Issue:

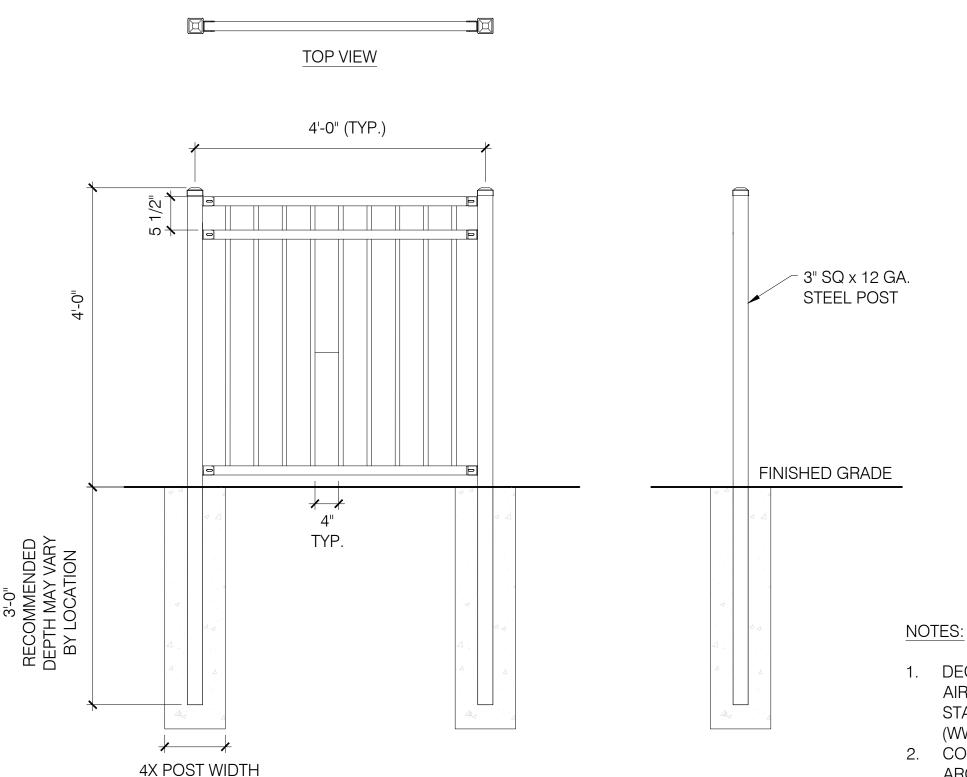
David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851

No. Date Remarks

Sheet Title: CONSTRUCTION DETAILS

Checked By: L-501 08/24/2022

AS NOTED 02-2019-127.1 16 of 21



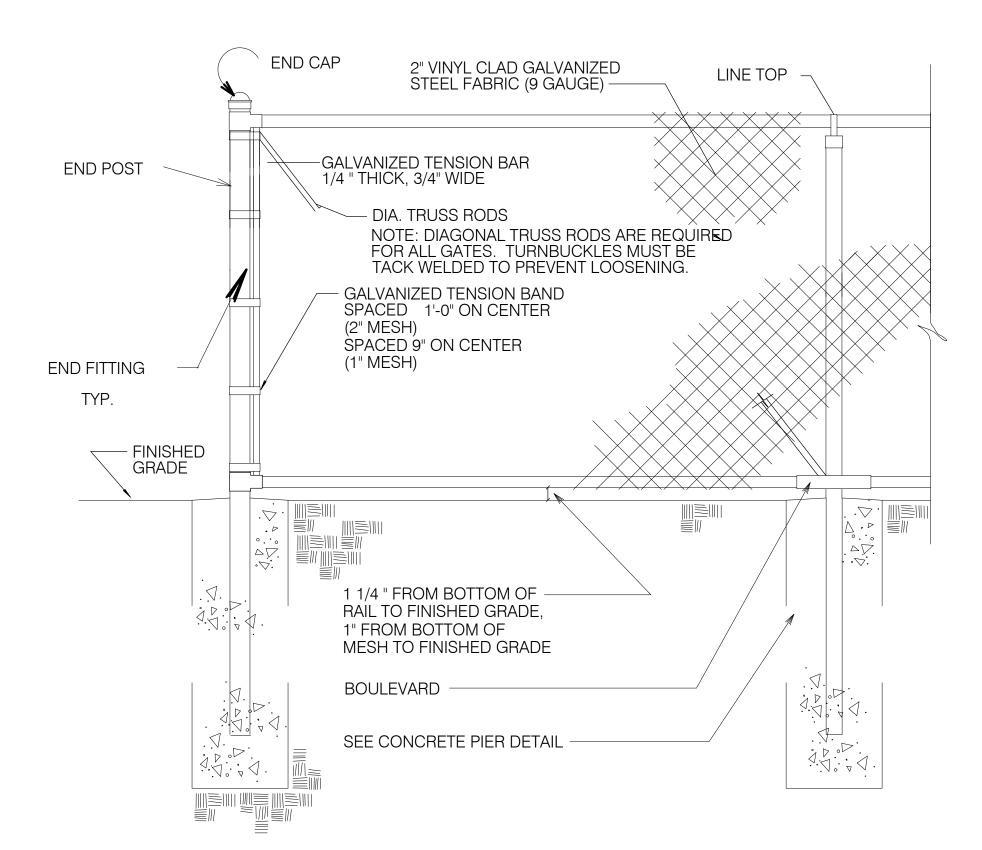
POST SECTION

TYPICAL FENCE SECTION

1. DECORATIVE FENCE SHALL BE MODEL 'MONTAGE PLUS- 3 RAIL PANELS, 4" AIR GAP, FLUSH BOTTOM, MAJESTIC STYLE, 4' TALL, COLOR BLACK, STANDARD FLAT CAP' AS MANUFACTURED BY AMERISTAR FENCE (WWW.AMERISTARFENCE.COM) OR APPROVED EQUAL.

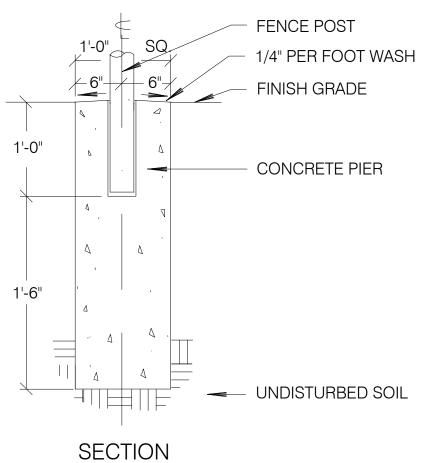
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.

DECORATIVE FENCE SCALE: 3/4" = 1'-0"



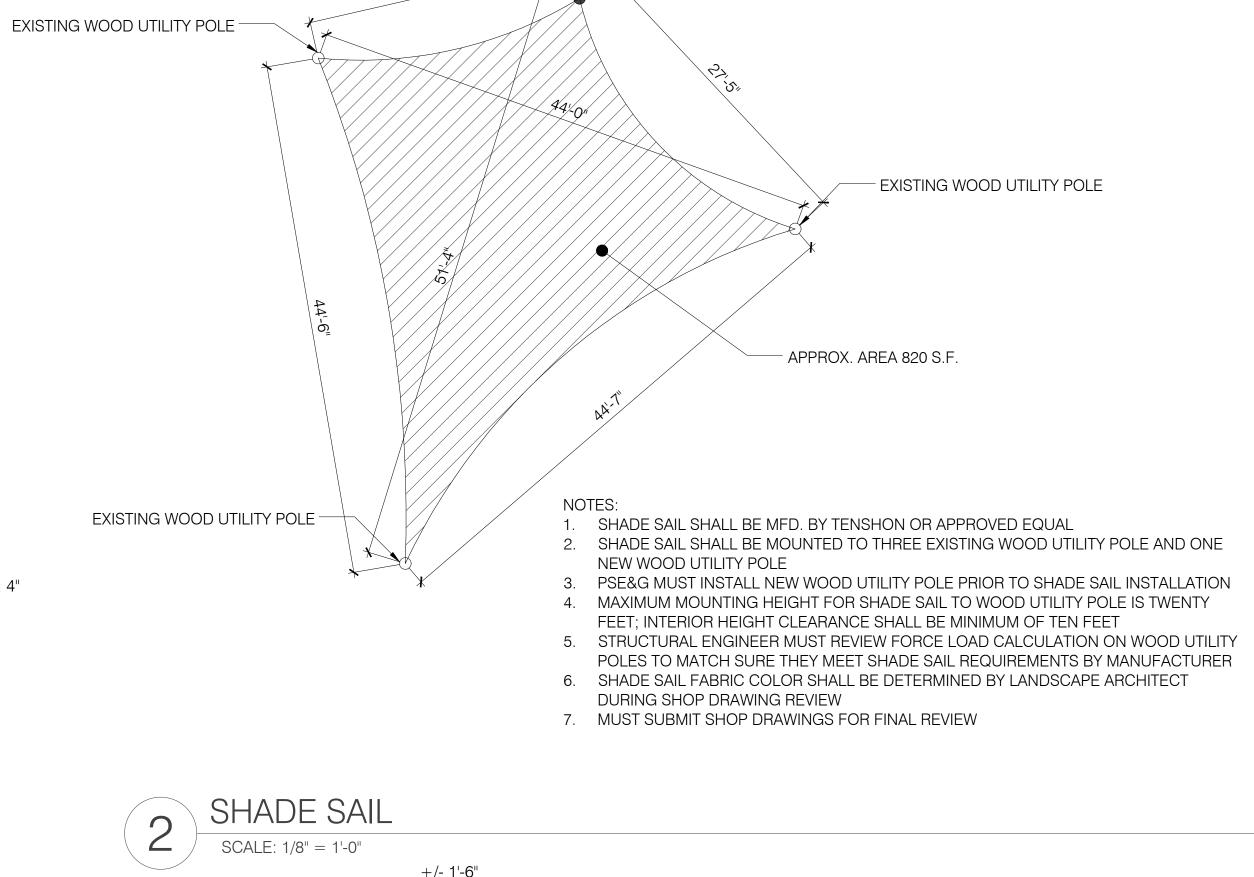
1. CHAIN LINK FENCE TYPES: 4' TALL, 8 ' TALL COLOR: BLACK

MOUNTING: ON EXISTING RETAINING WALL 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.



CONCRETE PIER

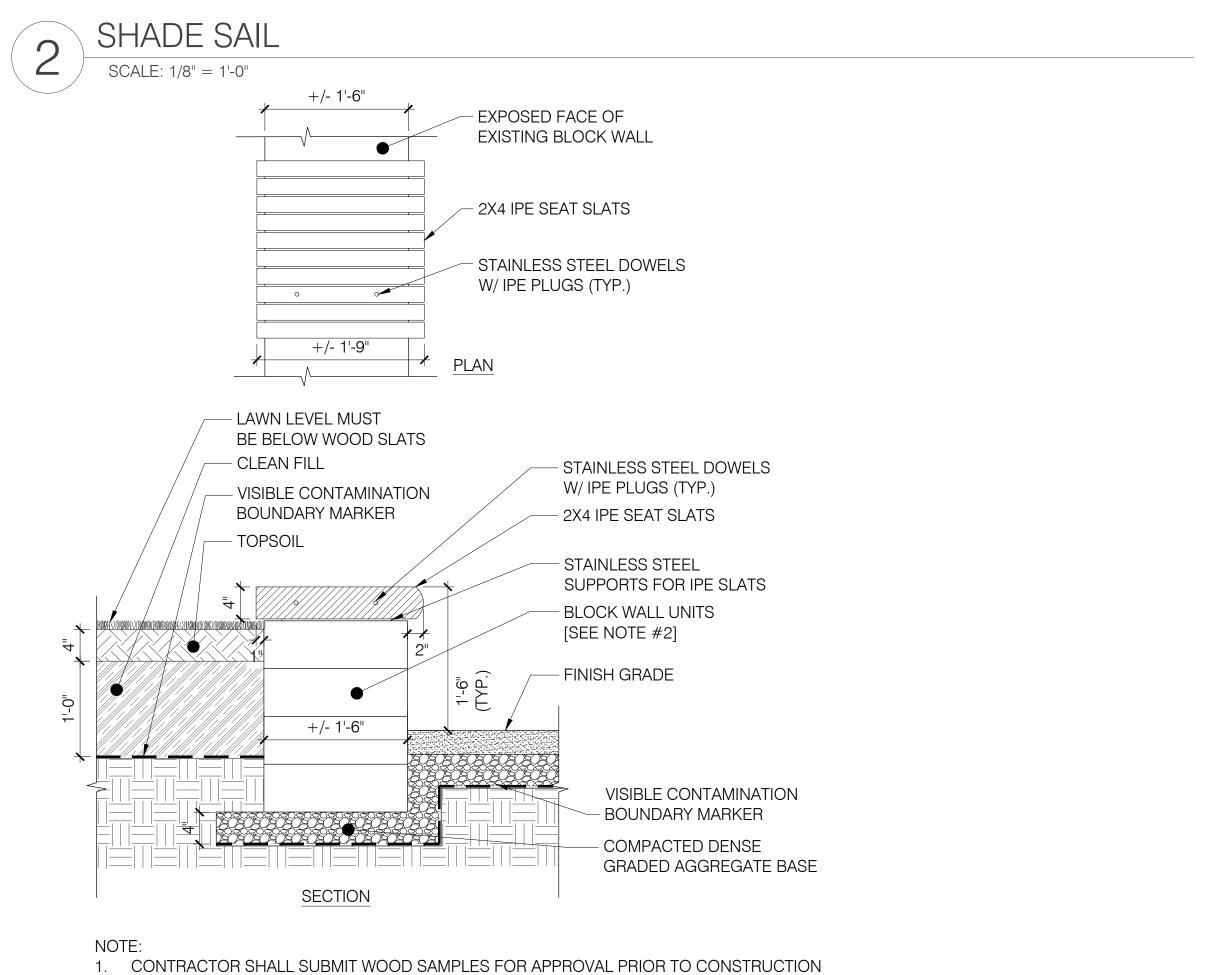
CHAIN LINK FENCE SCALE: N.T.S.



NEW WOOD UTILITY POLE

SEE LIGHTING PLAN

WITH SINGLE FLOOD LIGHT FIXTURE,



BLOCK WALL W/ WOOD TOP SEATING SCALE: 1" = 1'-0"

CONSTRUCTION.

CONTRACTOR SHALL REUSE STORED BLOCK WALL UNITS FROM SITE CLEARING BLOCK WALL MUST BE SUNKEN A MINIMUM OF ONE UNIT BELOW FINISH GRADE

5. CONTRACTOR SHALL PREPARE A 3' LONG MOCK UP FOR REVIEW AND APPROVAL PRIOR TO

MUST PROVIDE 2" DIAMETER WEEP HOLES AT TEN FEET ON CENTER ALONG LENGTH OF BLOCK WALLS

Clinton Street Park

Paterson Habitat For Humanity

Paterson, NJ

Bid Documents

146 North 1st Street Paterson, NJ 07522

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COFA #MH000044

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507 Bloomfield Ave., 2nd Floor Montclair, New Jersey 07042 USA

www.arterialstreets.com

CHISVETTE ENGINEERING, LLC

Email:

David I. Lustberg

New Jersey Licensed Landscape Architect

Issue: No. Date Remarks

NJ LLA# AS00851

Sheet Title: CONSTRUCTION DETAILS

Checked By: L-502 08/24/2022 AS NOTED

02-2019-127.1

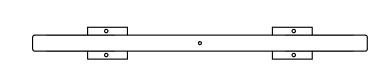
17 of 21

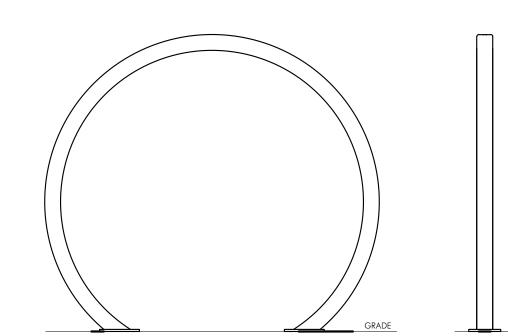
BENCH AS MFD. BY:

- VICTOR STANLEY OR APPROVED EQUAL
- MODEL: FR-7 BENCH, 8 FEET IN LENGTH
- POWDER COAT COLOR: GREY WOOD SLATS: IPE
- MOUNTING: SURFACE MOUNT
- OPTION: CENTER LEG WITH ARMREST

- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
- 2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF
- THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS). 3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
- FOR HIGH SALT ABUSIVE CLIMATES, HOT-DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. HOT-DIP GALVANIZING IS PERFORMED FOR VICTOR STANLEY, INC. BY AN EXPERIENCED QUALIFIED FIRM TO WHICH PRODUCTS ARE SHIPPED FOR GALVANIZING. HOT-DIP GALVANIZING INCLUDES AN AGGRESSIVE PRE-TREATMENT AND IMMERSION IN A TANK OF CHARGED LIQUID ZINC AT OR AROUND 860°F (460°C). THE RESULTING SURFACE IS RESISTANT TO RUST BUT HAS SOME UNEVENNESS RESULTING FROM THE BONDING OF THE ZINC TO THE STEEL SURFACE. AS A RESULT, THE POWDER-COATING SURFACE FINISH OVER THAT GALVANIZED SURFACE MAY EXHIBIT BUMPS, UNEVENNESS, AND MAY NOT BE AS SMOOTH AS THE STANDARD FINISH; THIS UNEVEN AND INCONSISTENT FINISH IS NORMAL FOR GALVANIZING. CONTACT MANUFACTURER FOR DETAILS.
- 6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
- THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED. 8. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL





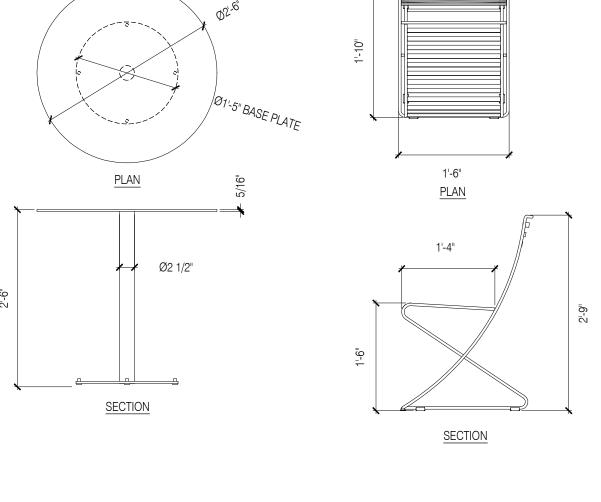


NOTE:

BIKE RACK AS MFD. BY;

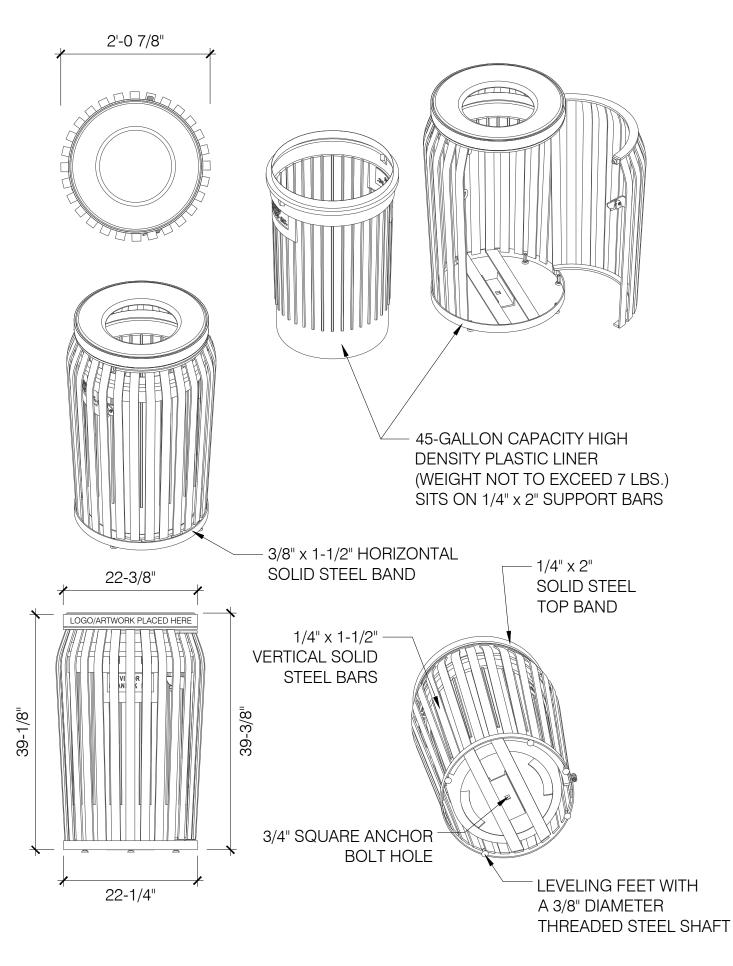
SCALE: 3/4"=1'-0"

- DERO: ARC RACK OR APPROVED EQUAL
- 2. COLOR: POWDER COAT IRON GRAY
- 3. MOUNTING: IN-GROUND
- 4. CORE HOLES 3/8" DIAMETER INTO CONCRETE SUBBASE
- BELOW DECOMPOSED GRANITE
- 5. PLACE RACK, LEVELING WITH WASHERS IF NECESSARY 6. THREAD NUTS ONTO ANCHORS, LEAVING 1/4" OF ANCHOR PROTRUDING, AND TAP INTO SURFACE,
- TIGHTEN NUTS. 7. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.



- TABLE & CHAIR SHALL BE MODEL 'PARK CENTRE-30" ROUND TABLE' & 'PARK CENTRE-ARMLESS CHAIR' AS MANUFACTURED BY LANDSCAPE
- FORMS (WWW.LANDSCAPEFORMS.COM) OR APPROVED EQUAL COLOR: POWDER COAT COLOR T.B.D. BY LANDSCAPE ARCHITECT
- DURING PRODUCT SUBMITTAL REVIEW
- TABLE SURFACE MOUNT
- BID UNIT INCLUDES ONE TABLE & FOUR CHAIRS
- CONTRACTORS SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL

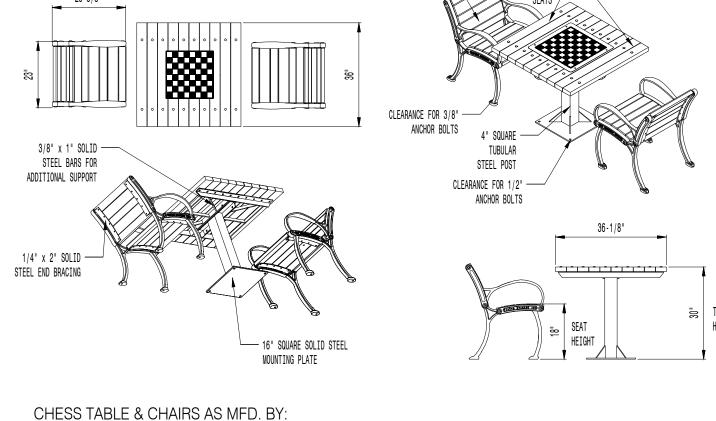
TABLE & CHAIRS



TRASH RECEPTACLE MFD. BY: VICTOR STANLEY OR APPROVED EQUAL MODEL: DYN-SD-45 DYNASTY SERIES (45 GALLON) COLOR: BLACK OPTION: CONVEX LID, SIDE-DOOR-OPENING LITTER

OTHER: SURFACE MOUNT AT CONCRETE SIDEWALK & ANCHOR THROUGH BRICK PAVERS INTO CONCRETE SUBBASE

- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
- ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD FILM COATING. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
- 3. OIL IMPREGNATED BRONZE BUSHINGS AND STAINLESS STEEL PIVOT PINS FOR DOOR MOVEMENT, STANDARD 3/16" SOLID STEEL LATCH ASSEMBLY.
- 4. ANCHOR BOLT IS NOT PROVIDED BY THE MANUFACTURER AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. LOCATIONS SHOWN ON PLANS ARE APPROXIMATE. ALL FINAL LOCATIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 6. LOGO/ ARTWORK IS TO BE PROVIDED BY THE CITY UPON AWARD OF CONTRACT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.



Clinton Street Park

Paterson Habitat For Humanity

Paterson, NJ

Bid Documents

146 North 1st Street

Phone: (973) 595-6868

Landscape Architect

COFA #MH000044

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info@arterialstreets.com

Pompton Lakes, NJ, 07442

Phone: (973) 897-7968 Fax: (973) 970-2010

Civil Engineer:

320 Lenox Avenue

David I. Lustberg

NJ LLA# AS00851

Issue:

No. Date

Checked By:

08/24/2022

AS NOTED

02-2019-127.1

New Jersey Licensed Landscape Architect

Remarks

CONSTRUCTION DETAILS

L-503

18 of 21

507 Bloomfield Ave., 2nd Floor

Montclair, New Jersey 07042 USA

www.arterialstreets.com

CHISVETTE ENGINEERING, LLC

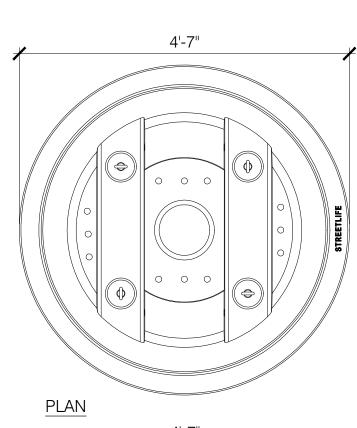
Paterson, NJ 07522

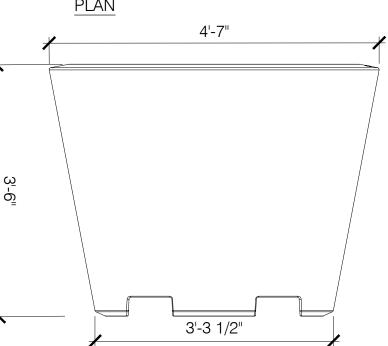
Email:

- VICTOR STANLEY OR APPROVED EQUAL
- MODEL: IP-36 (36" SQUARE TABLE TOP) W/ FB-324 2 FEET LENGTH BENCH
- POWDER COAT COLOR: GREY
- WOOD SLATS: IPE
- MOUNTING: IN-GROUND (TABLE); SURFACE MOUNT (BENCH)
- OPTION: TABLE TOP WITH GAMEBOARD
- BID UNIT INCLUDES 1 TABLE & 2 BENCHES

- 1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
- 2. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S
- SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS). 3. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTILTABLE AND SEATS ARE IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
- 4. ANCHOR BOLTS NOT PROVIDED BY VICTOR STANLEY, INC.
- 5. FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
- 6. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.
- 7. THIS PRODUCT IS SHIPPED PARTIALLY UNASSEMBLED. 8. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.

CHESS TABLE & CHAIRS





ELEVATION

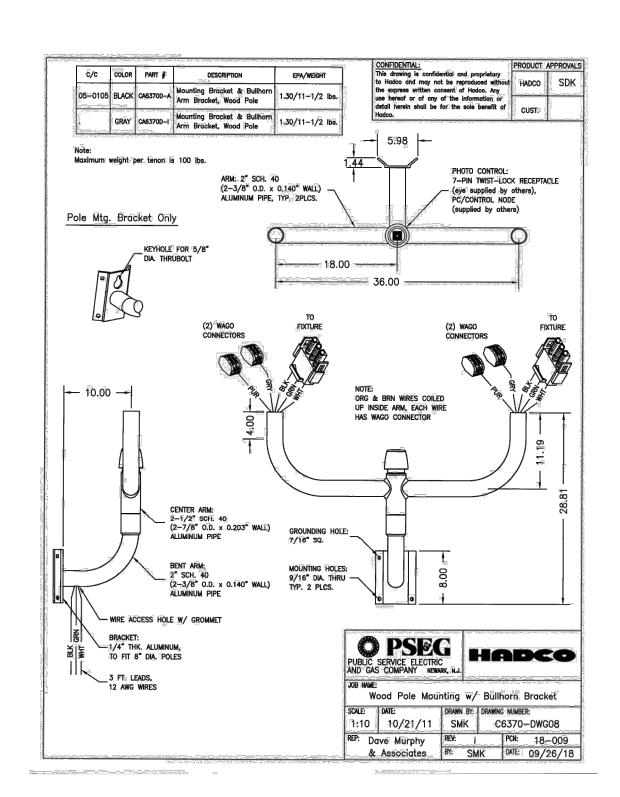
- 1. MODEL: SYNTHETIC CONES
- 2. MATERIAL:PLASTIC (PE) WITH GRANITO EFFECT ON AVERAGE CA. 0.3"
- 3. MANUFACTURER: STREETLIFE
- COLOR: TRAFFIC RED (SOLID COLOR) 5. CONTRACTOR SHALL SUBMIT CUT SHEET

FOR LANDSCAPE ARCHITECT'S REVIEW.

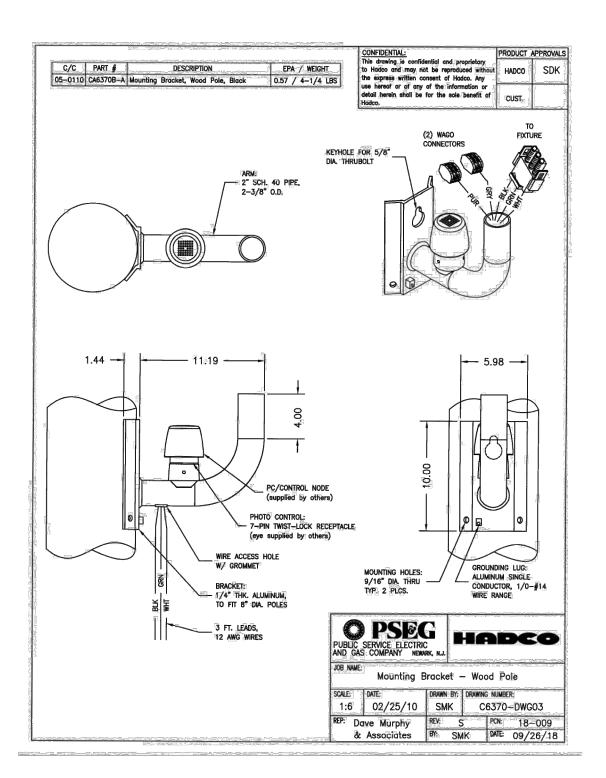
MOVABLE PLANTER SCALE: 3/4"=1'-0"

TRASH RECEPTACLE SCALE: 3/4"=1'-0"

TYPE A FIXTURE A1: SINGLE FIXTURE - SINGLE FIXTURE MOUNTING BRACKET A2: DOUBLE FIXTURE - DOUBLE FIXTURE MOUNTING BRACKET A3: TRIPLE FIXTURE - SINGLE & DOUBLE FIXTURE MOUNTING BRACKETS



DOUBLE FIXTURE MOUNTING BRACKET



SINGLE FIXTURE MOUNTING BRACKET



PLAY EQUIPMENT SHALL BE MODEL 'ARCH SWING SET 4-SEATS' AS MANUFACTURED BY PLAYWORLD (PLAYWORLD.COM) OR APPROVED

SEAT CONFIGURATION: 2 BLACK BELT & 2 BLACK BUCKET SWING SEATS METAL FRAME COLOR: YELLOW CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE

PLAY EQUIPMENT - SWING SET

ARCHITECT'S REVIEW AND APPROVAL.

LIGHT TYPE A SCALE: NTS



PLAY EQUIPMENT SHALL BE MODEL 'ZZXX0568' AS MANUFACTURED BY PLAYWORLD (PLAYWORLD.COM)

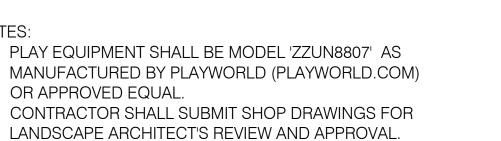
OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.



PLAY EQUIPMENT SHALL BE MODEL 'ZZXX0566' AS MANUFACTURED BY PLAYWORLD (PLAYWORLD.COM) OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.



PLAY EQUIPMENT SHALL BE MODEL 'ZZUN8807' AS MANUFACTURED BY PLAYWORLD (PLAYWORLD.COM) OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR





PLAY EQUIPMENT - LOG HOP

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR

LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.





PLAY EQUIP. - LADY BUG

PLAY EQUIP. - LOG CRAWL

David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851 Issue: No. Date Remarks Sheet Title: CONSTRUCTION DETAILS Checked By: L-504 08/24/2022 AS NOTED 02-2019-127.1 19 of 21

Clinton Street Park

Paterson Habitat For Humanity

Paterson, NJ

146 North 1st Street Paterson, NJ 07522

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Montclair, New Jersey 07042 USA

www.arterialstreets.com

CHISVETTE ENGINEERING, LLC

Email:

Bid Documents

PLAY EQUIP. - BUMBLE BEE

SEE PLAN FOR LAYOUT

TO BE INSTALLED WITH TRIANGULAR SPACING

FINISHED GRADE

SHREDDED BARK MULCH

MODIFIED SOIL

COMPACTED SUBGRADE

VISIBLE CONTAMINATION BOUNDARY MARKER

LAWN

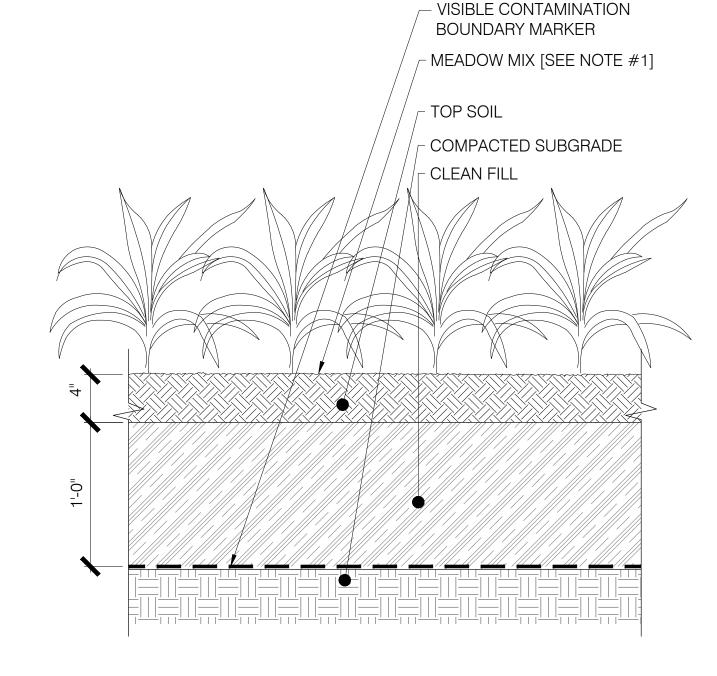
TOP SOIL

COMPACTED SUBGRADE

CLEAN FILL

NOTES:

FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO OWNERSHIP. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 6" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.



NOTES:

1. SEE SPECIFICATION SECTION 32 94 00 MEADOW MIX FOR DETAILS

2. FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO OWNERSHIP. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 6" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.

1 TYPICAL PLANT SPACING

SCALE: 3/4" = 1'-0"

2 LANDSCAPE BED

SCALE: 1" = 1'-0"

FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL

TEST WILL BE NEEDED AND SUBMITTED TO OWNERSHIP. AFTER

SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF

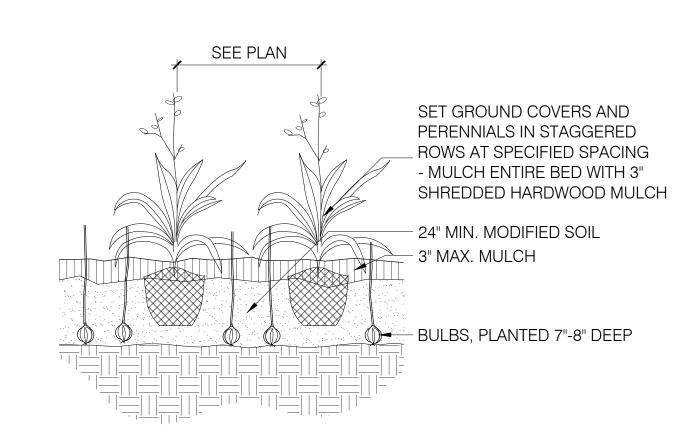
24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL

SPECIFICATION.

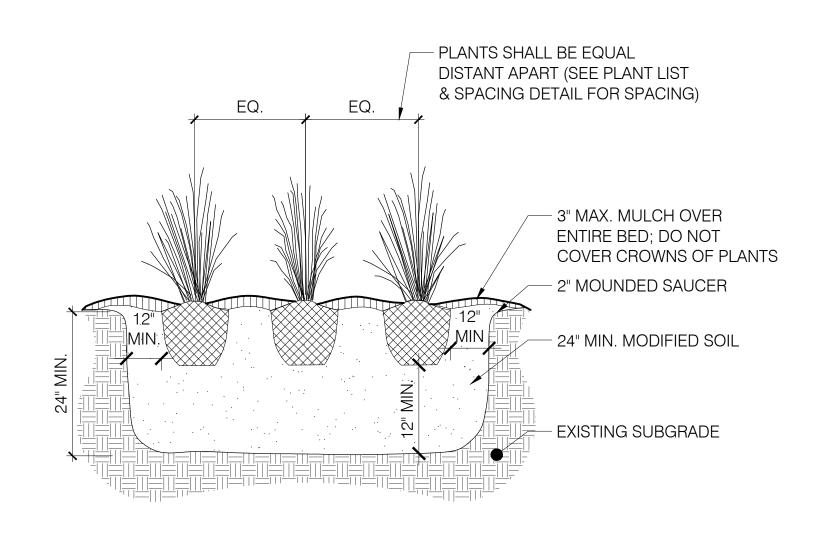
3 LAWN

SCALE: 1" = 1'-0"

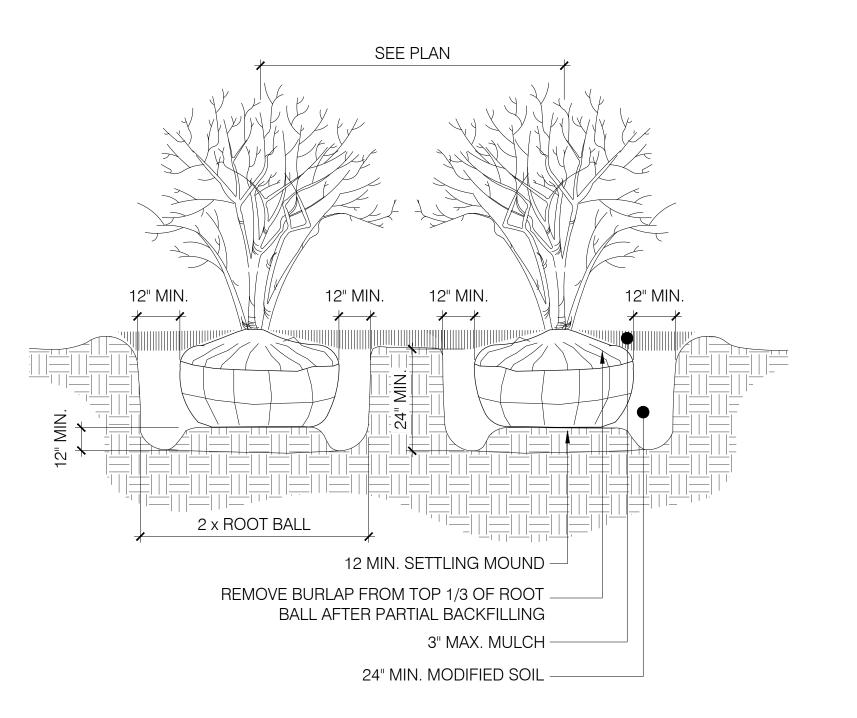




OTES:
FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL
TEST WILL BE NEEDED AND SUBMITTED TO LANDSCAPE
ARCHITECT. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A
MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND
TO MEET SOIL SPECIFICATION.



FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO LANDSCAPE ARCHITECT. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.



FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO LANDSCAPE ARCHITECT. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.



TYPICAL GROUNDCOVER / PERENNIAL PLANTING

SCALE: 1" = 1'-0"





David I. Lustberg New Jersey Licensed Landscape Architect NJ LLA# AS00851 Issue: No. Date Remarks Sheet Title: CONSTRUCTION DETAILS Checked By: L-505 08/24/2022 AS NOTED 20 of 21 02-2019-127.1

Paterson, NJ

Client:
Paterson Habitat For Humanity
146 North 1st Street
Paterson, NJ 07522
Phone: (973) 595-6868

Clinton Street Park

Landscape Architect

Email:

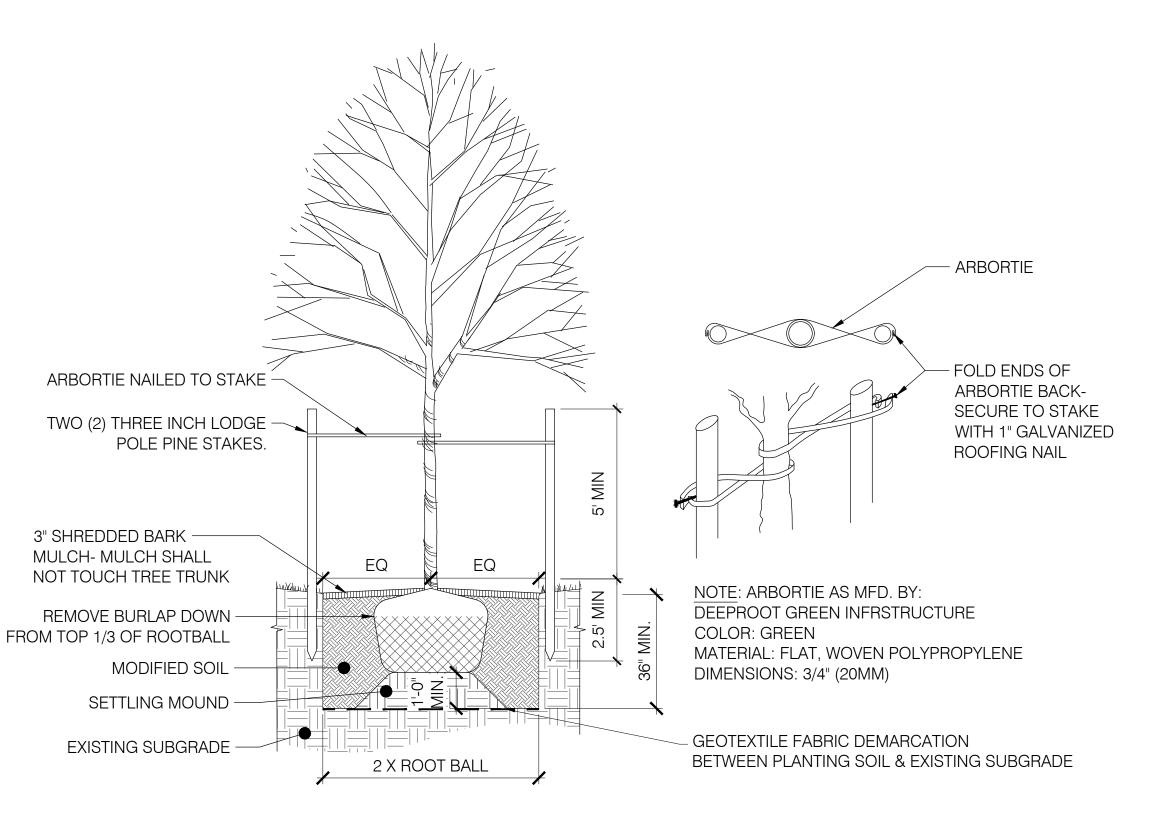


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FILTER FABRIC -

PLANTING —

FILTER FABRIC,

DAYLIGHT TO GRADE

THROUGH CURB

GRANULAR BACKFILL-

1'-10"

1'-6"

2'-6"

SECTION

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1 L-506 TREE PLANTING CONCRETE SIDEWALK (L-500) 3 L-500 ASPHALT PAVING

TREE PLANTING - 2" DECOMPOSED GRAVEL OVER PLANTING SOIL MIX DECOMPOSED GRANITE GEOTEXTILE FABRIC DEMARCATION BETWEEN PLANTING SOIL & EXISTING SUBGRADE

- FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO LANDSCAPE ARCHITECT. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION.
- SEE TREE STAKING DETAIL FOR STAKING INFORMATION.

TREE PLANTING

2" THICK CAST STONE

CONCRETE BLOCK -

2" OVERHANG (TYP.)

- OVERHANG AT ANY POINT

SHALL BE A MINIMUM OF 1"

DENSE GRADE AGGREGATE

BASE COURSE

(PER MANUFACTURER STANDARDS)

CONC. BLOCK ADHESIVE ON ALL SIDES/JOINTS

CAPSTONE

SCALE: 3/4" = 1'-0"

FOR SOIL MODIFICATION: PRIOR TO SOIL MODIFICATION A SOIL TEST WILL BE NEEDED AND SUBMITTED TO LANDSCAPE ARCHITECT. AFTER SOIL TESTING, TILL EXISTING TOP SOIL TO A MINIMUM DEPTH OF 24" AND AMEND WITH COMPOST AND SAND TO MEET SOIL SPECIFICATION. SEE TREE STAKING DETAIL FOR STAKING INFORMATION.

SCALE: 3/4" = 1'-0"

CAST CAPSTONE SHALL BE BY AMERICAN ART STONE OR APPROVED EQUAL.

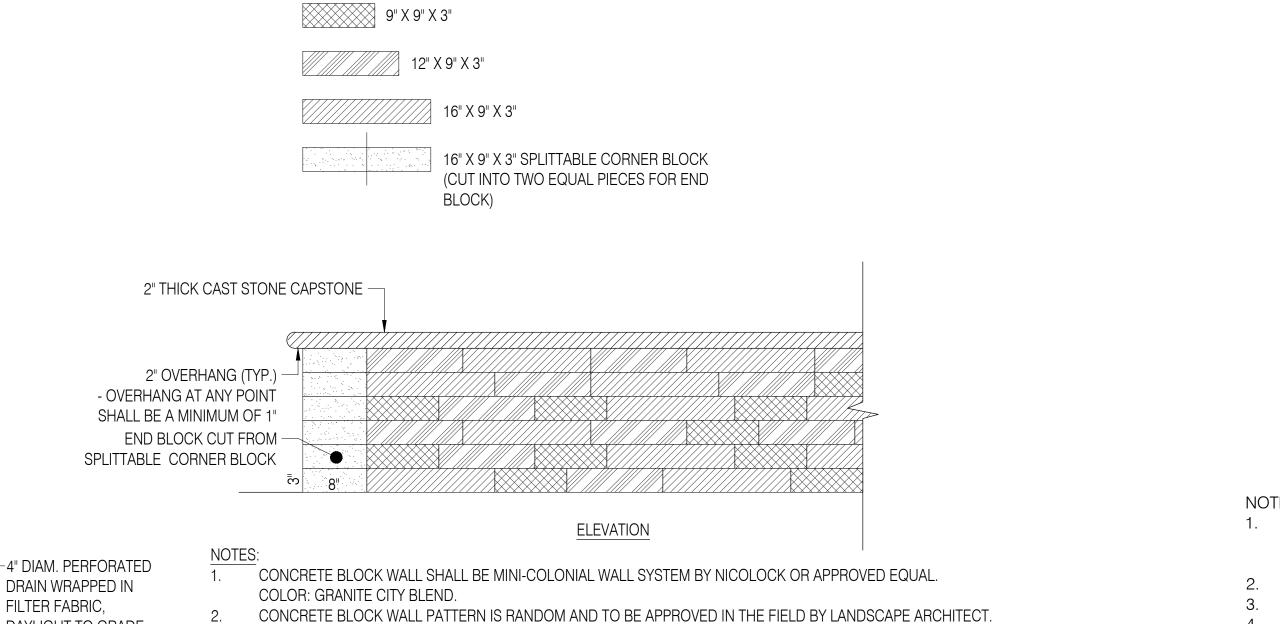
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL.

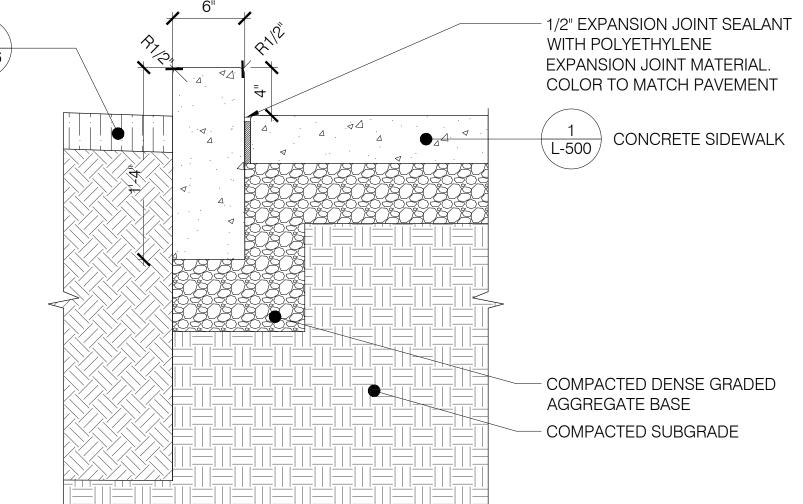
COLOR: A-1.

CONCRETE BLOCK SIZES

TREE PIT PLANTING







- 1. ALL CONCRETE & CONSTRUCTION METHODS SHALL CONFORM TO 2019 NJDOT STANDARD SPEC. FOR ROAD & BRIDGE CONSTRUCTION.
- MEET FINISHED GRADE AND ADJACENT SURFACES FLUSH.
- CONCRETE TO BE CLASS B
- SUBBASE & FORM WORK SHALL BE FIRM & APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO POURING.
- 5. PROVIDE 1/2" EXPANSION JOINT FILLER, BACKER ROD & SEALANT AT ALL CURBS, BLDGS, WALLS, OR EVERY 20' O.C. MAX.

(F)	6"x16" CONCRETE CURB
$\left(\begin{array}{c} \mathbf{J} \end{array} \right)$	SCALE: 1-1/2" = 1'-0"

Checked By: L-506 08/24/2022 AS NOTED 02-2019-127.1 21 of 21

CONSTRUCTION DETAILS

Clinton Street Park

Paterson Habitat For Humanity

Paterson, NJ

Bid Documents

146 North 1st Street Paterson, NJ 07522

Phone: (973) 595-6868

Landscape Architect

COFA #MH000044

Civil Engineer:

320 Lenox Avenue

Fax: (973) 970-2010

David I. Lustberg

NJ LLA# AS00851

Issue:

Sheet Title:

No. Date

New Jersey Licensed Landscape Architect

Remarks

Pompton Lakes, NJ, 07442

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CHISVETTE ENGINEERING, LLC

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BLOCK WALL W/ STONE TOP SEATING

SCALE: 1" = 1'-0"